

McCALL AREA PLANNING AND ZONING COMMISSION

Agenda

August 2, 2022 – 4:30 p.m.

McCall City Hall – Lower Level & MStTeams Teleconference

216 East Park Street, McCall, ID 83638

This meeting will be a hybrid, in-person and virtual meeting. Use a phone to call 208-634-8900, when prompted enter Conference ID 757 723 342#. If there are any questions, contact Brian Parker, City Planner (bparker@mccall.id.us).

As the City continues to monitor the Covid-19 numbers and recommendations from the CDC, the 6-foot social distancing and mask requirements are now a recommendation.

The Legion Hall's Occupancy Capacity is 32. The Commission Members and staff who are anticipated to be in attendance is 8. The first 24 persons who appear will be allowed to be present in the meeting location. All other persons may be in attendance virtually.

COMMISSION MEETING – Begins at 4:30 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Scott Tunnell, Christina Nemec, Ryan Kinzer, Liz Rock, Tony Moss, Tom Mihilfeith.

1. REVIEW & APPROVAL OF MINUTES

- July 12, 2022 - Planning & Zoning Commission Minutes (Action Item)

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

No Pre-Application Hearings

3. CONSENT AGENDA

All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall Area Planning and Zoning Commission for reading and study. Items listed are considered routine by the Commission and will be enacted with one motion unless a commissioner specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following ACTION ITEMS:

ROS-22-08 (ACTION ITEM)

218 E Park St - Nathan Stewart for the City of McCall

An application for a Record of Survey to erase the lot lines between seven (7) lots of record which comprise the Civic Campus, to create a single lot and allow for the appropriate building envelope to be created for the City Library and other Civic amenities. The resulting total lot size would be 203,538 square feet, or 4.67 acres. The properties are Zoned CV – Civic, and are more particularly described as:

Located in Government Lot 3 and situate in the SE ¼ of the SW ¼ of Section 9, T18N, R3E, B.M.,
City of McCall, Idaho

Not a Public Hearing

ROS-22-09 (ACTION ITEM)

TBD Stibnite St – Kiersten Dietrich of the Land Group for the McCall Donnelly School District

An application for a Record of Survey to adjust the lot lines between two lots of record. The existing lots of record total 1.96 acres and 7.38 acres, respectively. The proposed lots would total 4.5 acres and 4.8 acres, respectively. The properties are zoned CV – Civic and are more particularly described as:

Part of Tax No. 80 and Acreage Tax No. 86, Situate in the NW ¼ of the NW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

Not a Public Hearing

ROS-22-10 (ACTION ITEM)

905 Ironwood St - Steve Millemann for Payette Lakes Club & the Mathews-Fischer Trust

An application for a Record of Survey to adjust boundaries to satisfy a settlement agreement between property owners. The resulting parcels will total 7,619 square feet, 601 square feet, and 1,391 square feet, respectively. The properties are Zoned R4 – Low Density Residential, and are more particularly described as:

Lot34ex; part Lot 14 and Lots 18,22,26, and 30 of Group A; and Lots 34 and 34ex of Group A of the Payette Lakes Club Subdivision, situate in Government Lot 4 in Section 5, T18N, R3E, B.M., Valley County, Idaho.

Not a Public Hearing

SR-22-10 (ACTION ITEM)

1021 Lick Creek Rd - Talya Edwards

An application for Scenic Route review to construct a new single-family home along the Lick Creek Road Scenic Route. The property is part of the Lick Creek Meadows subdivision and has an approved Architectural Review Committee, therefore only the Scenic Route guidelines are before the commission for review. The property is zoned R4 – Low Density Residential, is located along a Scenic Route, and is more particularly described as:

Lot 31, Block 2 of the Lick Creek Meadows Subdivision, situate in the SW ¼ of the SE ¼ of Section 3, T18N, R3E, B.M., City of McCall, Idaho

Not a Public Hearing

Findings of Fact & Conclusions of Law from July 12, 2022 P&Z Commission Agenda & Review

ROS-22-06 (ACTION ITEM)

2051 Plymouth Court – Joel Droulard for Stephan & Marisa Dominguez

An application for a Record of Survey to combine Lot 4 of Block 7 of the Amended State Subdivision (10,719 square feet at present) with Tax Parcel no. 248 (4,558 square feet at present), and adjust the current property boundary between Tax Parcel no.248 and Lot 5 of Block 7 (18,416 square feet at present) of the State Subdivision Cove Replat to result in 2 new lots from the existing 3. The 2 resulting lots will total 19,373 square feet and 14,157 square feet, respectively.

Lot 4 of Block 7 and Lot 5 of Block 7 of the State Subdivision - Cove Replat, and Tax parcel no. 248, situate in Section 3, T18N, R3E, B.M., Valley County, Idaho.

Not a Public Hearing

ROS-22-07 (ACTION ITEM)

925 Lick Creek Road - Fredlyn Wideman & Jodell Barber for the Estate of Conrad Schade

An application for a Record of Survey to Adjust the lot line between two lots of record to correct the encroachment of an existing structure over a lot line. The properties are zoned R4, Low Density Residential and are more particularly described as:

The N'rly and S'rly portions of McCall Acreage Tax Parcel No. 38, situate in the SE ¼ of the SW ¼ of Section 3, T18N, R3E, B.M., Valley County, Idaho.

Not a Public Hearing

DR-22-12 & SH-22-03 (ACTION ITEM)

121 Kiki Ct – Mike Robnett for Eric Giddins

An application for Design Review and Shoreline approval to construct a new, single-family dwelling unit with an attached, 2-car garage and covered exterior porch and patio with a total square footage of 4,332 square feet. The property is zoned R1 – Residential – 1 Acre, is located within the Shoreline Environs Zone along the Payette River, and is more particularly described as:

Lot No. 6 of the Reserve on Payette River in a portion of Government lots 4 and 7, situate in Section 17, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Not a Public Hearing

DR-22-17 (ACTION ITEM)

1425 Chris Lane – Pat Minegar

An application for Design Review to construct a 3,600 square foot Utility Shop with a Deed Restricted Local Housing Accessory Dwelling Unit/Shop on a property with an existing single-family home. The property is zoned RR – Rural Residential, and is more particularly described as:

Lot 9 of the Falcon Ridge Estates Subdivision, situate in the SW ¼ of the NE ¼ of Section 19, T18N, R3E, B.M., Valley County, Idaho

Not a Public Hearing

FP-22-01 (Final Plat)

Big Horn Subdivision (Preliminary - SUB-21-04)

Sasha Childs for Net Prophet, LLC: A Subdivision Final Plat application for the creation of a 12 residential lots on a parcel 2.82 acres in size on the west side of a small private section of Verita Road, directly west of Broken Ridge Commons and north of West Valley Road. (Preliminary Plat Approved: SUB-21-02). The property is zoned R8 – Medium Density Residential and is more particularly described as:

In the NE ¼ of the NE ¼ situated in Section 18, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Not a Public Hearing

4. OLD BUSINESS

5. NEW BUSINESS

DR-22-16 (ACTION ITEM)

985 Valley Rim Rd – Claire Remsberg for Treone Cooley

An application for Design Review to construct a 2-bedroom, 1-bathroom, 780 square foot Accessory Dwelling Unit with a carport, on a property with an existing single-family home. The property is zoned R1 – Rural 1 Acre, and is more particularly described as:

Lots 48 and 49 of Valley View Subdivision No.2, situate in the NW ¼ of the NW ¼ of Section 20,
T18N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

6. OTHER

- Signs approved administratively
- **Upcoming Meeting Agenda (Tentative – Subject to Change - August 10, 2022)**
 - i. New Business:
 1. CA-22-02 – Short Term Rental Code Amendment
 2. DR-22-18/SR-22-09 – TBD Spring Mountain Boulevard
 3. DR-22-19 – 439 Rio Vista Boulevard

7. ADJOURNMENT

American with Disabilities Act Notice: The Planning and Zoning Commission meeting room is accessible to persons with disabilities. If you need assistance, contact City Hall at 634-7142. Please allow 48 hours.

McCALL AREA PLANNING AND ZONING COMMISSION

Agenda

July 12, 2022 – 4:30 p.m.

McCall City Hall – Lower Level & MStTeams Teleconference
216 East Park Street, McCall, ID 83638

COMMISSION MEETING – Began at 4:30 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Scott Tunnell, Christina Nemec, Ryan Kinzer, Liz Rock, Tony Moss, ~~Tom Minifeith~~, Bill, Michelle, Brian, Meredith, Morgan

1. REVIEW & APPROVAL OF MINUTES

- May 17, 2022 - Planning & Zoning Commission Minutes (Action Item)
- June 7, 2022 – Planning & Zoning Commission Minutes (Action Item)

Tunnell – 1 (for both), Kinzer 2, all in favor

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

Pre-Application for a Subdivision (SUB) Preliminary Plat and Conditional Use Permit (CUP) 207-217 Simmons St – Steve Callan

A Pre-application for development of a 5-unit townhome subdivision and Conditional Use Permit for a multi-family, multi-use development in the Industrial Zone. The townhomes would include workshop/commercial space on the ground floor, and residential units, accessed internally, on the upper floor. The property is zoned I – Industrial, is located within the Mission St Scenic Route Overlay, and is more particularly described as:

Lots 5-10 of Block 2 of the Riverside Subdivision, situate in the W ½ of the NW ¼ of the SW1/4 of Section 16, T18N, R3E, B.M., City of McCall, Idaho

Not a Public Hearing

Steve Callan of 385 Rio Vista Blvd presented his pre-application for 5-unit mixed-use townhouse project in the Industrial Zone to include residential space in the upstairs, and Industrial Workshop space on the ground floor. Commissioners asked whether he would consider applying Deed Restrictions for Local Housing as a method to prevent the units being used for Short-Term rentals. The building/units will have to be set up with fire-sprinklers as a mixed-use development. Commissioners then inquired about what makes the lower-level a “workshop” as opposed to a garage. The difference would be the fixtures developed into the space.

Pre-Application for a Zoning Code Amendment Michelle Groenevelt for the City of McCall

A Pre-Application for a Zoning Code Amendment to amend McCall City Code guidance regarding Permit Standards for Dwellings, Short-Term Rentals. Amendments include standards for general health and safety such as a fire inspection and licensing process through the office of the City Clerk.

Not a Public Hearing

(continued on following page)

Michelle Groenevelt, Community and Economic Development Director, presented the pre-application for a Zoning Code Amendment to amend the Permit Standards for Short-Term Rentals. The Code Amendment concept has been reviewed and recommended for workshopping and changes with the City Council over the course of the last 6-8 months. Staff has incorporated the general policy feedback from City Council and Property Owners to arrive at the present point of bringing a Zoning Code Amendment before the Planning & Zoning Commission. The City has hired a consultant familiar with the issue and the area to assist with the Code Amendments.

Ms. Groenevelt reviewed some of the more specific code standards that are intended to be addressed including: licensing requirements, fee schedules, establishing an inspection process in partnership with the Fire District, floor/site plan requirements, and establish a fine schedule and policy for recurring code violations. The most significant change to the Short-Term Rental Policy will likely be a change to occupancy standards from 4 persons per bedroom to a lesser number. This reduction better aligns to the standards by which single-family homes are measured for code compliance and infrastructure standards within the community, such as Water, Sewer, and Septic Units.

Commissioner Tunnell asked for clarifications on the number of violations allowable, prior to revocation or suspension of a permit. Ms. Groenevelt clarified that it would be 2 fines, then the 3rd violation would cause suspension. Chairman Lyons asked what flexibility there could be with the occupancy standards and allowing more than 2 occupants be in a larger sized room. Ms. Groenevelt mentioned that the standard would be applied as an average occupancy calculated based on the number of bedrooms, but the property owners could distribute sleeping areas as they saw fit. Chairman Lyons asked whether there would be any exceptions to occupancy for children under a certain age or similar. Commissioner Tunnell asked for further information on the Code Enforcement and Inspection processes. The Short-Term Rental would be required to pass an Inspection prior to receiving their permit, then Enforcement would be on a report-by-report basis handled directly through the Local Option Tax Administrator. Field Enforcement would be managed by the Police Department, while the Administration of the Short-Term Rental related code enforcement would be through the LOT Administrator. There would be some challenges to enforcing these changes within the Impact Area with the Impact Area agreement being under review, but the goal would ultimately be to have the Impact Area code be updated in a reasonable period.

Commissioners also asked about what type of balances would be placed on Events at Short-Term Rentals. Ms. Groenevelt summarized that examples having occurred historically include weddings taking place at lake-front STRs, or large barbecues that engage guests far beyond those actually staying at the property. There will need to be language formulated on this, but it is an important component for consideration. There was some discussion on the Accessory Dwelling Unit language and definitions that would be applicable as well as potential Noise Ordinance enforcement methods.

3. CONSENT AGENDA

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ROS-22-06 (ACTION ITEM)

2051 Plymouth Court – Joel Droulard for Stephan & Marisa Dominguez

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the current property boundary between Tax Parcel no.248 and Lot 5 of Block 7 (18,416 square feet at present) of the State Subdivision Cove Replat to result in 2 new lots from the existing 3. The 2 resulting lots will total 19,373 square feet and 14,157 square feet, respectively.

Lot 4 of Block 7 and Lot 5 of Block 7 of the State Subdivision - Cove Replat, and Tax parcel no. 248, situate in Section 3, T18N, R3E, B.M., Valley County, Idaho.

Not a Public Hearing

ROS-22-07 (ACTION ITEM)

925 Lick Creek Road - Fredlyn Wideman & Jodell Barber for the Estate of Conrad Schade

An application for a Record of Survey to Adjust the lot line between two lots of record to correct the encroachment of an existing structure over a lot line. The properties are zoned R4, Low Density Residential and are more particularly described as:

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Not a Public Hearing

DR-21-26 - Extension of Time Request – (ACTION ITEM)

1702 Pine Circle - Troy Lachik of Landon Architecture for Jake Tucker

A Design Review and Scenic Route application to construct a 2,593 square foot, two-story single family home with an attached garage. The property is zoned R4 – Low Density Residential, and is more particularly described as:

Lot 15 of Block 2 of Timberlost II situated in the SW ¼ of the SW ¼ of Section 3, T18N, R3E, B.M., Valley County, Idaho

Not a Public Hearing

Findings of Fact & Conclusions of Law from June 7, 2022 P&Z Commission Agenda & Review

ROS-22-05 - Findings of Fact & Conclusions of Law (ACTION ITEM)

TBD Elo Rd - Joe Jones for Joy Weller-Miller and the Bisom Family Revocable Trust

An application for a Record of Survey to adjust the lot line between two existing lots of record to correctly align the historic fence line and property boundary. The properties are Zoned RE – Rural Estate, and are more particularly described as:

Weller-Miller: Amended Tax Parcel No. 126, situate in the NW ¼ of the SW ¼ of Section 22, T18N, R3E, B.M., Valley County, Idaho & Bisom Family Revocable Trust: Amended Tax Parcel No. 20 situate in the NW ¼ of the SW ¼ of Section 22, T18N, R3E, B.M., Valley County, Idaho.

Not a Public Hearing

DR-22-14 & SR-22-08 - Findings of Fact & Conclusions of Law (ACTION ITEM)

TBD S 3rd St – Andy Laidlaw for 530 Hwy 55, LLC

An application for Design Review & Scenic Route Review to construct a new Wood, Metal, and Graphics Studio totaling 3,010 square feet to accompany an existing barn on the property. The project will include 7 new parking spaces. The property is zoned CC – Community Commercial, is located along the Hwy 55 Scenic Route, and is more particularly described as:

Tax Parcel No. 23, situate in the NW ¼ of the NE ¼ of Section 21, T18N, R3E, B.M., Valley County, Idaho.

Not a Public Hearing

Commissioner Nemec made a motion to approve the consent agenda. Commissioner Tunnell seconded. Unanimous.

4. OLD BUSINESS

No Old Business

5. NEW BUSINESS

Revocation Agreement

Relating to ROS-20-27

1643 & 1645 Ginney Way – Bill Punkoney for the City of McCall

The properties are zoned R4 – Low Density Residential, and are more particularly described as:

Lots 22 & 23 of Block 1 of the Lick Creek Meadows Subdivision, Phase 1, situate in the SE ¼ of Section 3, T18N, R3E, B.M., City of McCall, Idaho

Not a Public Hearing

Bill Punkoney presented the Revocation Agreement in summary as a process to revoke the process of having approved a lot combination in 2020/2021 based on incomplete information as provided by the applicant team at the time. The approval of this Revocation would return the two lots to their original platted state prior to their combination.

Commissioner Tunnell made a motion to approve the Revocation and authorize the Chairmain to _____ on behalf of the Commission. Commissioner _____ Seconded. Unanimous.

DR-22-12 & SH-22-03 (ACTION ITEM)

121 Kiki Ct – Mike Robnett for Eric Giddins

An application for Design Review and Shoreline approval to construct a new, single-family dwelling unit with an attached, 2-car garage and covered exterior porch and patio with a total square footage of 4,332 square feet. The property is zoned R1 – Residential – 1 Acre, is located within the Shoreline Environs Zone along the Payette River, and is more particularly described as:

Lot No. 6 of the Reserve on Payette River in a portion of Government lots 4 and 7, situate in Section 17, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

PUBLIC HEARING

Mike Robnett of 1002 Violet Way presented the Giddens application for a new Single-Family Residence in the Shoreline Zone of the Northfork of the Payette River. Mr. Robnett mentioned some wetlands mitigation and delineation needed to be resolved, but that now they have determined the correct development requirements for the property. Commissioners had some questions about the access and utilities for the property, but these have been resolved with the necessary utilities.

Mr. Parker presented the Staff Report and identified that the plans generally meet the McCall Design Guidelines and McCall City Code now that some revisions and reworking have taken place to better suit the wetlands and Floodplain existing on the site.

Morgan Stroud presented the Engineering Report and mentioned that although _____

Open/Close

Tunnell 1, Nemecc 2, Unanimous.

DR-22-16 (ACTION ITEM)

985 Valley Rim Rd – Claire Remsberg for Treone Cooley

An application for Design Review to construct a 2-bedroom, 1-bathroom, 780 square foot Accessory Dwelling Unit with a carport, on a property with an existing single family home. The property is zoned R1 – Rural 1 Acre, and is more particularly described as:

Lots 48 and 49 of Valley View Subdivision No.2, situate in the NW ¼ of the NW ¼ of Section 20, T18N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

DR-22-17 (ACTION ITEM)

1425 Chris Lane – Pat Minegar

An application for Design Review to construct a 3,600 square foot Utility Shop with a Deed Restricted Local Housing Accessory Dwelling Unit/Shop on a property with an existing single-family home. The property is zoned RR – Rural Residential, and is more particularly described as:

Lot 9 of the Falcon Ridge Estates Subdivision, situate in the SW ¼ of the NE ¼ of Section 19, T18N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

Pat Minegar of 1425 Chris Ln in McCall presented his application for a Workshop/Deed Restricted Accessory Dwelling Unit totaling 3,600 square feet. They would like to have the large-sized accessory building for personal storage, and are happy to place the required Local Housing Unit within the structure. Mr. Minegar mentioned that he has applied for the proper Septic Permit from CDH pursuant to their comments but is waiting to receive the permit as needed for a Building Permit.

Mr. Parker presented the Staff Report and described how this application was intended to be approved administratively, but got tied up in the Code Amendment stall. He mentioned that the only stall remaining for this application would be receiving the Septic Permit from CDH, so the commission will need to add the Septic Permit condition.

Ms. Stroud provided the Engineering Report mentioning it had been issued final engineering approval earlier in the day due to the small scale of impact in comparison to the lot size.

Nemec 1, Tunnell 2 approve DR-22-17 with BP proof of a septic permit that allows for construction of an Accessory Dwelling Unit.

FP-22-01 (Final Plat)

Big Horn Subdivision (Preliminary - SUB-21-04)

Sasha Childs for Net Prophet, LLC: A Subdivision Final Plat application for the creation of a 12 residential lots on a parcel 2.82 acres in size on the west side of a small private section of Verita Road, directly west of Broken Ridge Commons and north of West Valley Road. (Preliminary Plat Approved: SUB-21-02). The property is zoned R8 – Medium Density Residential and is more particularly described as:

In the NE ¼ of the NE ¼ situated in Section 18, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

NOT A PUBLIC HEARING

Steve Millemann of the Big Horn Team presented the application in brief and mentioned after having reviewed the Staff Report he had no changes to request.

Mr. Parker presented the Staff Report and mentioned that most of the details were vetted in the Preliminary Plat process, and that all portions of the application materials met the requirements of McCall City Code.

Ms. Stroud presented the engineering report and Mr. Millemann

Tunnell 1, 2nd _____ recommend approval to City Council.

6. OTHER

- **Schedule - Planning & Zoning Commission Work Session to Review the City of McCall Impact Area Agreement**

STRs on August 10th at 5:00pm, Impact Area Meeting on August 31, 5:00pm

- **Signs approved administratively (Not a Public Hearing)**
 - i. SG-22-08 – 302 E Lake Street - Sadie Noah Real Estate
 - ii. SG-22-09 – 307 E Lake Street – (Concession’s Agreement) Payette Pedal Party
 - iii. SG-22-10 – 400 N 3rd St - Nordic Inn (Formerly ‘Rustic Inn’ or ‘Woodsmen’)
- **Upcoming Meeting Agenda (Tentative – Subject to Change - August 2, 2022)**
 - i. Consent Agenda:
 1. ROS-22-08
 2. ROS-22-09
 3. ROS-22-10
 4. Findings from July 12, 2022 P&Z Commission Meeting
 - ii. New Business:
 1. ~~DR-22-15/SH-22-04 – 489 Cammy Lane – Dawn Cardwell/Michael Jobs~~
 2. DR-22-18/SR-22-09 – TBD Spring Mtn Blvd – Goff Family
 3. DR-22-19 – 489 Rio Vista Blvd – Mark Withers
 4. DR-22-20 (ADU) – 506 Timm St – Samuel Thopson
 5. ~~CUP-22-01/DR-22-01/SR-22-01 – 402 N 3rd St – (Maverik, Inc.)~~
 6. Minor Plat-22-01 – 123-141 Stibnite Ave – Rustic Village

7. ADJOURNMENT

Moss 1, Tunnell – 2 Ended at 6:06pm.

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**PUBLIC COMMENT
SIGN IN SHEET
McCall Planning & Zoning Commission
July 12, 2022**

NAME	ADDRESS	In favor, Opposed, or Neutral
✓ Mark Martin	926 Chipmunk Ln	In Favor
✓ STEVE CAILAN	385 RIO VISTA	Pre-App
✓ Mike Robnett	121 Kiki Ct.	In support
✓ PAT MIREGAR	1425 CHRIS LN	Support
✓ Matthew Basye	LOT 22/23 Lick Cr. Sub	In Favor
Eric Giddens	121 Kiki Ct	In favor
✓ Keith Walz	26 Pointee Goldfork - Dennyly	Support
208 630-3423		
Steve Millemann		FP-22-01

McCall Area Planning and Zoning Commission

Staff Report

ROS-22-08

Lot Combination

218 East Park Street

August 2, 2022

Applicant: City of McCall
Representative: Nathan Stewart
Application: Record of Survey
Zoning District: R4 - Low Density Residential
Jurisdictional Area: City Limits

Description

An application for a Record of Survey to erase the lot lines between seven (7) lots of record which comprise the Civic Campus, to create a single lot and allow for the appropriate building envelope to be created for the City Library and other Civic amenities. The resulting total lot size would be 203,538 square feet, or 4.67 acres.

Staff Analysis

Project Information

Zoning District: CV - Civic

Comprehensive Plan Designation: Civic

Project Acreage: 4.67-acres

Proposed Use: Library Expansion (See CUP-21-02)

Code Sections of Interest

- McCall City Code Section 9.1.05(B)(1): Eligibility for Record of Survey Procedure:

To be eligible for processing under subsection (B)2 of this section, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out in this subsection (B)1:

(a) No lot or parcel which would be created by the plat or survey is less than forty (40) acres in extent; or

(b) A single, existing lot of record is being divided into not more than four (4) lots other than as part of an evident marketing program of greater extent, each lot or parcel within the proposed plat or survey clearly meets the lot size regulations of the applicable zone, and the McCall area comprehensive plan, and each lot or parcel within the proposed survey either

meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than is the single, existing lot of record; or

(c) Two (2) or more lots of record are being combined; or

(d) Two (2) or more lots of record are shown, and lots are being combined and/or divided in such fashion that the lot sizes would be proper were the land the subject of a formal subdivision of no greater extent, and each lot or parcel within the proposed survey either meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than are the lots of record; or

(e) The proposed plat or survey implements a judicial decision in a probate, partition, or quiet title action, which decision decrees the setting off of individual lots or parcels to individual parties to or beneficiaries of the action, and every lot or parcel within the proposed plat or survey meets applicable zoning and the applicable comprehensive plan; provided, that the administrator need not recognize for these purposes a partition or quiet title action to which the city was not made a party and which the administrator concludes in the administrator's discretion was maintained to evade these regulations; or

(f) The proposed plat or survey is coextensive with and only further defines (including combining) one or more existing, contiguous lots of record, and each such lot of record was both of record and in several ownerships from any contiguous other lot of record on March 16, 2006; or

(g) The proposal is an amended plat which amends an existing final plat of record so as to make one or more minor adjustments in lot boundaries reflecting final construction of roads or amenities, the number and configuration of lots is unchanged, and there are no significant land use planning considerations not addressed as of the time of such final plat; or

(h) Except that no lot may be redivided to undo a previous combination of lots except by application in accordance with chapter 2 of this title; or

(i) A lot line adjustment between two (2) or more existing adjacent parcels, provided:

(1) No additional parcels or building sites have been created, and

(2) The adjustment does not create the potential to further divide either of the two (2) parcels into more parcels than would have been otherwise possible, and

(3) There are no resulting violations of this title or title III of this code.

(j) Land conveyed to or from a public utility, or for land conveyed to a subsidiary of a public utility for conveyance to such a public utility for right of way, unless a showing is made in individual cases, upon substantial evidence, that public policy necessitates a parcel map.

- McCall City Code Section 9.1.05(B)(2)(d): Application Qualifies:

If the administrator determines that the application qualifies for record of survey procedure, the administrator may thereafter waive the application of some or all provisions of this chapter. However, the following three (3) conditions cannot be waived:

(1) Name, and evidence of ownership; and

(2) The preparation and recording of a record of survey pursuant to Idaho Code; and

(3) The preparation, execution, and securing of the performance of an agreement in form and scope similar to a development agreement, which addresses necessary improvements.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:

McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.

- Deep Dive – Future Land Use Designations – Civic:

This land use designation is intended to provide for governmental offices and other civic facilities including governmental, cultural, and recreational facilities. Mixed use is allowed in combination with public uses. On the Future Land Use Map, it is applied to schools, parks, the hospital, and other selected public properties. *Implementing Zoning Districts: CV.*

Staff Discussion

- The intent of this Record of Survey application is to combine parcels to facilitate the construction of the expanded McCall Library.

Comments

Agency –

McCall Public Works

In an email dated

Public –

No public comment has been received.

Staff Recommendation

Staff recommends approval of this application with the Conditions of Approval listed below.

Conditions of Approval

1. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
2. To complete the ROS, the applicant shall file a Valley County Combination Request form and new deed for the property.
3. The applicant shall provide the City with a .PDF copy of the survey immediately upon recordation.
4. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county within eighteen (18) months of the date of such approval.

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142

LAND USE APPLICATION



Date Received: _____

Fees Paid: _____

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # _____ Record of Survey (ROS) - \$420
- # _____ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # _____ Scenic Route (SR) - \$300
- # _____ Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Development Agreement - \$500
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: City of McCall Email: nstewart@mccall.id.us

Mailing Address: 216 E. Park Street, McCall, ID 83638 Phone: 208-634-8943

Property Owner 2 (If Applicable): _____ Email: _____

Mailing Address: _____ Phone: _____

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Nathan Stewart Email: nstewart@mccall.id.us

Mailing Address: 216 E. Park Street, McCall, ID 83638 Phone: 208-634-8943

PROPERTY INFORMATION

Address(es) of Property: 218 E. Park Street

Legal Description of Property: PORTIONS OF: 1. MCCALL ACREAGE TAX NO. 151 IN GOV'T LOT 3 S9 T18N R3E "FIRE STATION" 2. MCCALL ACREAGE TAX NO'S. 149-A, 149-B & 150 IN GOV'T. LOT 3 S9 T18N R3E "CITY HALL & LIBRARY"

Zoning District of Property: CV Project Sq. Footage (If Applicable): _____

Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

Payette Lakes Water and Sewer District or Septic System or not applicable

PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information if needed)

Record of survey to combine parcels and remove existing lot line where future library will be constructed.

SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

The submittal items identified in the application info sheets are the minimum required materials for the City to accept applications. The City Planner may require additional information based on the specific circumstances of each proposal.

City of McCall

Property Owner 1

Signature

Property Owner 2 (If Applicable)

Signature

Nathan Stewart

Agent/Authorized Representative

Nathan Stewart
2022.06.13 11:49:44-06'00'

Signature

FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Ralph Miller

Surveyor

Signature

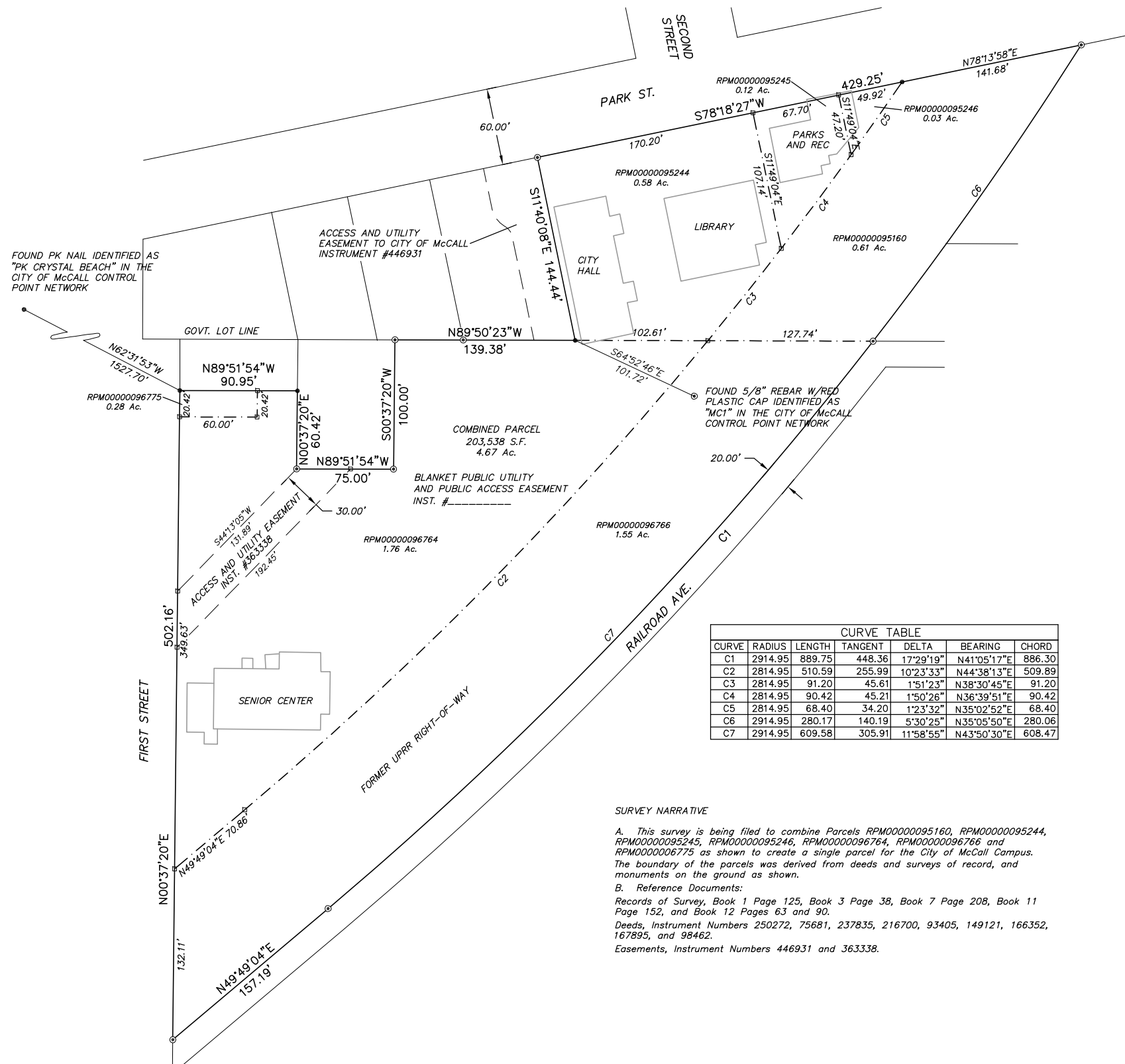
I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

PROPOSED RECORD OF SURVEY

BOOK NO. _____ PAGE NO. _____
OF RECORDS OF SURVEY.

RECORDERS STAMP

FOR
THE CITY OF McCALL
LOCATED IN
GOVERNMENT LOT 3 AND
SE 1/4 SW 1/4 SECTION 9, T.18N., R.3E., B.M.,
CITY OF McCALL, VALLEY COUNTY, IDAHO
2022



SCALE: 1" = 60'

Bearings Based on the McCall Modified coordinate system
Measurements were made at ground.

LEGEND

- ⊙ FOUND 5/8" IRON PIN
- FOUND 1/2" IRON PIN
- ⊗ SET 5/8" REBAR MKD LS 8577
- SET 1/2" REBAR MKD LS 8577
- ⊕ FOUND BRASS CAP MONUMENT
- CALCULATED POSITION - NOTHING SET
- - - LOT LINES REMOVED
- - - EASEMENT LINES

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

Accepted and approved this _____ day of _____, 20____, by the City of McCall.

McCall City Clerk

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	CHORD
C1	2914.95	889.75	448.36	17°29'19"	N41°05'17"E	886.30
C2	2814.95	510.59	255.99	10°23'33"	N44°38'13"E	509.89
C3	2814.95	91.20	45.61	1°51'23"	N38°30'45"E	91.20
C4	2814.95	90.42	45.21	1°50'26"	N36°39'51"E	90.42
C5	2814.95	68.40	34.20	1°23'32"	N35°02'52"E	68.40
C6	2914.95	280.17	140.19	5°30'25"	N35°05'50"E	280.06
C7	2914.95	609.58	305.91	11°58'55"	N43°50'30"E	608.47

SURVEY NARRATIVE

A. This survey is being filed to combine Parcels RPM00000095160, RPM00000095244, RPM00000095245, RPM00000095246, RPM00000096764, RPM00000096766 and RPM0000006775 as shown to create a single parcel for the City of McCall Campus. The boundary of the parcels was derived from deeds and surveys of record, and monuments on the ground as shown.

B. Reference Documents:
Records of Survey, Book 1 Page 125, Book 3 Page 38, Book 7 Page 208, Book 11 Page 152, and Book 12 Pages 63 and 90.
Deeds, Instrument Numbers 250272, 75681, 237835, 216700, 93405, 149121, 166352, 167895, and 98462.
Easements, Instrument Numbers 446931 and 363338.

I, Ralph Miller, a Professional Land Surveyor Registered in the State of Idaho, do hereby certify that this plat was prepared from notes taken during an actual survey made by me and that it correctly represents the points, courses and distances as recorded in said field notes.



SECESH ENGINEERING INC.
P.O. Box 70
McCall, ID 83638
(208) 634-6336

Meredith Todd

From: Morgan Stroud
Sent: Monday, August 1, 2022 8:35 AM
To: Nathan Stewart; Ralph Miller (rmsecesh@citlink.net)
Cc: Brian Parker; Meredith Todd
Subject: ROS22-08 - 218 E Park Street - Engineering Review
Attachments: Deed Bike Path Right of Way Railroad Ave.pdf

The Public Works Department has reviewed the documents submitted for review for **ROS22-08** and have the following comments and concerns.

1. Please reference the deed to the City for the use of the abandoned railroad right-of-way as a pathway on the record-of-survey.
2. Full right-of-way widths need to be labeled on the Record-of-Survey.
3. Should the blanket utility and public access easement also include snow storage?
4. Once the final ROS draft is complete, two digital CAD files, prepared in accordance with the City's digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here: <https://evogov.s3.amazonaws.com/141/media/115532.pdf>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Thank you,



McCall Public Works

Morgan Stroud, E.I.T.
Staff Engineer
(D) 208.634.3458
(C) 208.315.2299
www.mccall.id.us/engineering

McCall Area Planning and Zoning Commission

Staff Report

ROS-22-09

Lot Line Adjustment

TBD Stibnite Street

August 2, 2022

Applicant: McCall-Donnelly Joint School District
Representative: Kerstin Dettrich
Application: Record of Survey
Zoning District: CV - Civic
Jurisdictional Area: City Limits

Description

An application for a Record of Survey to adjust the lot lines between two lots of record. The existing lots of record total 1.96 acres and 7.38 acres, respectively. The proposed lots would total 4.5 acres and 4.8 acres, respectively.

Staff Analysis

Project Information

Zoning District: CV - Civic

Comprehensive Plan Designation: High Density Residential

Project Acreage: 9.3 acres

Proposed Use: No change

Code Sections of Interest

- McCall City Code Section 9.1.05(B)(1): Eligibility for Record of Survey Procedure:

To be eligible for processing under subsection (B)2 of this section, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out in this subsection (B)1:

(a) No lot or parcel which would be created by the plat or survey is less than forty (40) acres in extent; or

(b) A single, existing lot of record is being divided into not more than four (4) lots other than as part of an evident marketing program of greater extent, each lot or parcel within the proposed plat or survey clearly meets the lot size regulations of the applicable zone, and the McCall area comprehensive plan, and each lot or parcel within the proposed survey either

meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than is the single, existing lot of record; or

(c) Two (2) or more lots of record are being combined; or

(d) Two (2) or more lots of record are shown, and lots are being combined and/or divided in such fashion that the lot sizes would be proper were the land the subject of a formal subdivision of no greater extent, and each lot or parcel within the proposed survey either meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than are the lots of record; or

(e) The proposed plat or survey implements a judicial decision in a probate, partition, or quiet title action, which decision decrees the setting off of individual lots or parcels to individual parties to or beneficiaries of the action, and every lot or parcel within the proposed plat or survey meets applicable zoning and the applicable comprehensive plan; provided, that the administrator need not recognize for these purposes a partition or quiet title action to which the city was not made a party and which the administrator concludes in the administrator's discretion was maintained to evade these regulations; or

(f) The proposed plat or survey is coextensive with and only further defines (including combining) one or more existing, contiguous lots of record, and each such lot of record was both of record and in several ownerships from any contiguous other lot of record on March 16, 2006; or

(g) The proposal is an amended plat which amends an existing final plat of record so as to make one or more minor adjustments in lot boundaries reflecting final construction of roads or amenities, the number and configuration of lots is unchanged, and there are no significant land use planning considerations not addressed as of the time of such final plat; or

(h) Except that no lot may be redivided to undo a previous combination of lots except by application in accordance with chapter 2 of this title; or

(i) A lot line adjustment between two (2) or more existing adjacent parcels, provided:

(1) No additional parcels or building sites have been created, and

(2) The adjustment does not create the potential to further divide either of the two (2) parcels into more parcels than would have been otherwise possible, and

(3) There are no resulting violations of this title or title III of this code.

(j) Land conveyed to or from a public utility, or for land conveyed to a subsidiary of a public utility for conveyance to such a public utility for right of way, unless a showing is made in individual cases, upon substantial evidence, that public policy necessitates a parcel map.

- McCall City Code Section 9.1.05(B)(2)(d): Application Qualifies:

If the administrator determines that the application qualifies for record of survey procedure, the administrator may thereafter waive the application of some or all provisions of this chapter. However, the following three (3) conditions cannot be waived:

(1) Name, and evidence of ownership; and

(2) The preparation and recording of a record of survey pursuant to Idaho Code; and

(3) The preparation, execution, and securing of the performance of an agreement in form and scope similar to a development agreement, which addresses necessary improvements.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:

McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.

- Deep Dive – Future Land Use Designations – High Density Residential:

This land use designation is intended to provide the development of neighborhoods with multiple-family dwelling units and is intended to encourage a variety of housing opportunities.
Implementing Zoning Districts: R-16

Staff Discussion

- The intent of this Record of Survey application is to adjust the property boundary between two existing parcels of record and to dedicate a future roadway access easement.

Comments

Agency –

McCall Public Works

In an email dated June 24, 2022, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **ROS22-07** and have the following comments and concerns.

A 12' Snow storage, drainage, and utility easement will need to be declared along Chipmunk Ln, and Lick Creek Rd, and shown on this Record-of-Survey. Please let me know if you need our template for this declaration.

1. Location of control points, DDSS's state that the nearest control points should be used. Is 'McGolf' the closest control point in the network to this project? It is difficult for us to identify if it is the closest control point without digital data.
2. Once the final ROS draft is complete, two digital CAD files, prepared in accordance with the City's digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here: <https://evogov.s3.amazonaws.com/141/media/115532.pdf>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Valley County Cadastral

In an email dated June 24, 2022, the Valley County Cadastral Specialist had the following comment:

"We will need to see deeds recorded at the county with the new descriptions, in order to complete the process. Also, please have the surveyor review lot closures prior to recording deeds and survey."

Public –

No public comment has been received.

Staff Recommendation

Staff recommends approval of this application with the Conditions of Approval listed below.

Conditions of Approval

1. The applicant shall record the survey with the following note(s) on the face of the plat:

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

2. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
3. Prior to recordation, the applicant shall receive final engineering approval.
4. The applicant shall provide the City with a .PDF copy of the recorded survey and recorded legal description immediately upon recordation.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.



City of McCall

Record of Survey Application

Date: 06/16/2022

Applicant / Owner

Applicant Name:	[Applicant Name]	Owner of Record	McCall-Donnelly Joint School
Address:		Name:	District
City, State, Zip:		Address:	120 Idaho St
Phone:		City:	McCall
Email:	[Applicant Email]	State:	Idaho
		Zip:	83638
		Phone:	2083155934
		Email:	jclay@mtdsd.org
		Invoice Email:	
		Owner of Record 2:	
		Address:	
		City:	
		State:	
		Zip:	
		Phone:	
		Email:	
		Invoice Email:	

Property

Site Address:	TBD Stibnite St	Area:	City Limits
Legal Desc.:		Sewer:	Payette Lakes Recreational
Zoning District:	CV	Square Footage:	Water and Sewer
			321297

Contractor

Contact Name:	Eric Pingrey	Email:	epingrey@mtdsd.org
Business Name:		Phone:	2086342161
McCall License #:		Idaho #:	
Mailing Address:			

Annexation Information

Annex Request:	No	Valley County:	No
Adjoining Land Use:	No	Conditional Use:	No
Parcel Split:	No	Project Type:	Other Civic Lot Split to
Parcel Adjoin:	No		prepare for future
			development
		Water:	City Water
		Neighbor Meeting:	

Description: Parcel 1: RPM00000163195, Parcel 2: RPM0000016390

Companion Applications

Record of Survey:	<input checked="" type="checkbox"/>	Subdivision (Final Plat):	<input type="checkbox"/>
Design Review:	<input type="checkbox"/>	Subdivision Minor Plat Amendment:	<input type="checkbox"/>
Scenic Route View:	<input type="checkbox"/>	Variance:	<input type="checkbox"/>
Shoreline and River Environs Review:	<input type="checkbox"/>	Rezone/Future Land/Comprehensive:	<input type="checkbox"/>
Conditional Use:	<input type="checkbox"/>	Zoning Code Amendment:	<input type="checkbox"/>
Development Agreement:	<input type="checkbox"/>	Annexation:	<input type="checkbox"/>
Planned Unit Develop (Prelim Plat):	<input type="checkbox"/>	Vacation:	<input type="checkbox"/>
Planned Unit Develop (Final Plat):	<input type="checkbox"/>	Land Use:	<input type="checkbox"/>
Subdivision (Prelim Plat):	<input type="checkbox"/>		

Details

Existing Cover:	0	Res Parcels:	
Proposed Cover:	0	Comm Parcels:	
Open Space Sq.Ft.:	0	Engineer Name:	
# of Parking:	0	Engineer Email:	
Max Grade %:	31	Engineer Phone:	
Average Grade %:	6	Pre-App Date:	
Total Acreage:	9	Condominiums:	
Zoned Density:	0	Townhomes:	
Proposed Density:	0	PUD Name:	
Total Exist Lot:	2	Architect Name:	
Total Proposed Lot:	2	Architect Email:	
Min Lot Frontage:	166	Architect Phone:	
Min Lot Size:	196020	Proposed Uses:	
Surveyor Name:	Michael S. Femenia	Scenic Frontage:	
Surveyor Email:	mfemenia@thelandgroup.com	# of New Trees:	
Surveyor Phone:		# of New Shrubs:	
Subdivision Name:		Floodplain:	
Existing Parcels:	2	Shoreline Frontage:	
Proposed Parcels:	2	High Water Mark:	

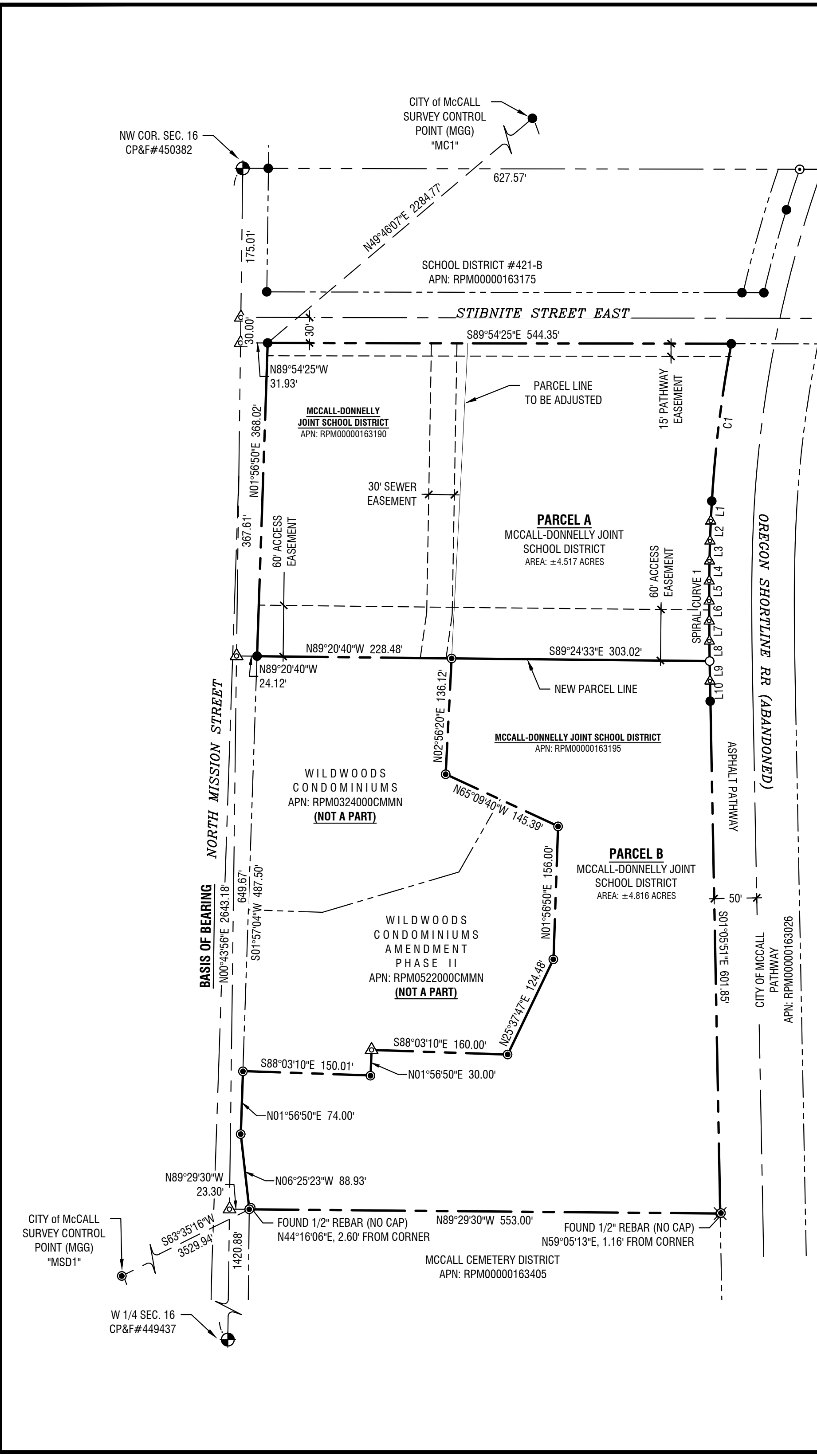
Sign

Proposed color palette:
 Total signage area existing:
 Total signage area proposed:
 Length of street facing wall in linear feet:
 Length of property frontage in linear feet:
 If multiple frontages, please add lengths from street 2:
 Sign Company:
 Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

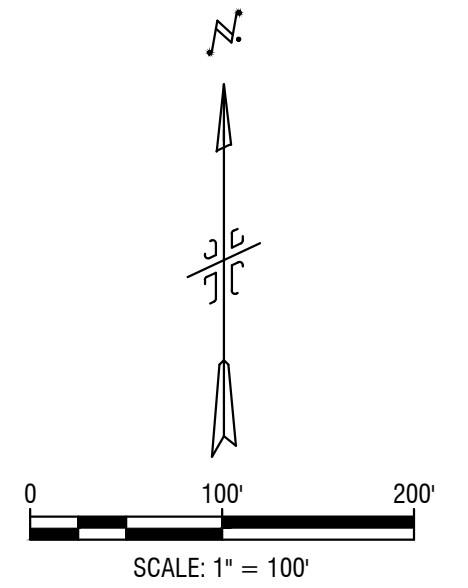
 Jason Clay
 Name

 06/16/2022
 Date



Record of Survey / Lot Line Adjustment
 for
McCall-Donnelly Joint School District
 Situate in the NW 1/4 of the NW 1/4 of Section 16,
 Township 18 North, Range 3 East, Boise Meridian
 City of McCall, Valley County, Idaho
 2022

VALLEY COUNTY RECORDERS CERTIFICATE



McCall City Clerk Certificate:

THIS RECORD OF SURVEY HAS BEEN REVIEWED AND APPROVED BY THE CITY OF McCALL WITH RESPECT TO ITS COMPLIANCE WITH THE SUBDIVISION AND DEVELOPMENT ORDINANCE AND EXEMPTION FROM FORMAL PLATTING; AN INDIVIDUAL LOT SHOWN ON THIS RECORD OF SURVEY SHALL BE CONSIDERED A SINGLE LOT FOR PURPOSES OF CITY ORDINANCES. IF THIS RECORD OF SURVEY COMBINES LOTS SHOWN ON A PLAT OR SURVEY OF RECORD, THE SEPARATE SALE OF SUCH FORMER SEPARATE LOTS WILL CONSTITUTE AN ILLEGAL SUBDIVISION UNDER THE McCALL CITY CODE.

THIS RECORD OF SURVEY IS BEING PERFORMED TO ADJUST LOTS OF COMMON OWNERSHIP.
 ACCEPTED AND APPROVED THIS _____ DAY OF _____, 2022, BY THE CITY OF McCALL.

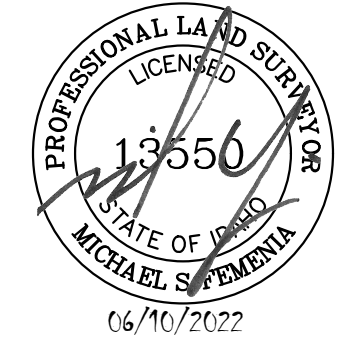
 McCALL CITY CLERK

Survey Narrative:

THIS SURVEY IS BEING PERFORMED AT THE REQUEST OF McCALL-DONNELLY JOINT SCHOOL DISTRICT. THE INTENT IS TO ADJUST THE EXISTING PARCEL LINE AS SHOWN HEREON. THE OVERALL PARCEL BOUNDARY HAS BEEN DERIVED FROM WARRANTY DEED#266238, AND RECORD OF SURVEY R1. FOUND MONUMENTS SUBSTANTIALLY FIT RECORD DATA.

Certificate of Surveyor:

I, MICHAEL S. FEMENIA, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS MAP HAS BEEN PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, AND THAT THIS MAP IS AN ACCURATE REPRESENTATION OF SAID SURVEY.



Legend:

- ⊕ FOUND BRASS CAP MONUMENT
- FOUND ALUMINUM CAP MONUMENT
- FOUND 5/8" REBAR, "PLS 998" OR AS DESCRIBED
- FOUND 1/2" REBAR, "PLS 998" OR AS DESCRIBED
- ⊗ FOUND 1" PIPE
- SET 5/8"x24" REBAR W/PLASTIC CAP "MSF 13550"
- △ CALCULATED POINT, NOTHING FOUND OR SET
- OVERALL PARCEL BOUNDARY LINE
- _____ NEW PARCEL LINE
- _____ INTERIOR PARCEL LINE
- ADJACENT PROPERTY LINE
- SECTION LINE
- EASEMENT LINE
- ROADWAY CENTERLINE
- TIE LINE

Curve Table					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	186.25'	1,482.39'	7°11'56"	S07°02'36"W	186.13'

10 Chord Offset Spiral Curve 1

LENGTH	CHORD	CH. BEARING
234.99'	234.93'	S0°25'13"W

Spiral Curve Segments		
LINE	BEARING	LENGTH
L1	S03°00'12"W	23.52'
L2	S02°11'15"W	23.51'
L3	S01°27'33"W	23.50'
L4	S00°49'26"W	23.50'
L5	S00°16'51"W	23.50'
L6	S00°10'29"E	23.49'
L7	S00°32'13"E	23.49'
L8	S00°48'37"E	23.49'
L9	S00°59'29"E	23.49'
L10	S01°04'57"E	23.49'



462 East Shore Drive, Suite 100
 Eagle, ID 83616 PH:(208) 939-4041



RECEIVED

By Brian Parker at 4:05 pm, Jun 30, 2022

June 30, 2022

Brian Parker
Planning and Zoning Department
City of McCall
216 East Park Street
McCall, ID 83638, ID 83638

bparker@mccall.id.us

**RE: McCall-Donnelly School District | Record of Survey & Lot Line Adjustment | PN 122079
Stibnite Parcel/s #: RPM00000163190, RPM00000163195**

Dear Mr. Parker,

To meet the growing needs of the McCall-Donnelly School District, (hereinafter referred to as 'the district'), and after thoroughly reviewing city code, zoning and land-use designations and current utility mapping, we are pleased to present the following application.

1. Record of Survey (ROS) with Lot Line Adjustment

With experience spanning over thirty years of professional service creating successful communities and recreation opportunities in southern Idaho, The Land Group Team is excited to partner with stakeholders to achieve positive outcomes. The above referenced applications are for the following parcels located on Stibnite Street E and N Mission Street.

1. RPM00000163190 – 2.0 acres
2. RPM00000163195 – 7.4 acres



The existing parcels are currently undeveloped land used for overflow storage and parking by the district and public.

The small unimproved parking area at the northeast corner of parcel RPM00000163195 also serves as the primary parking area for public to access the frisbee course located on the city owned parcel to the east (parcel RPM00000163090).

Both parcels have some lightly improved walking trails that were constructed for the cross-country team as well as some other general and remnant site features such as a paved asphalt area to the north of the Wildwoods Condominiums.

Summary

In accordance with city code, please the standard ROS application checklist has basic application information and as requested, his narrative letter is provided to outline ROS intent, with future development concept information. Please reference **Exhibit A** which displays site survey information and existing parcel boundary lines in their current state.

The district proposes a Record of Survey and Lot Line Adjustment to change the boundaries of the existing two (2) parcels to improve both parcels for future development opportunities. Please reference **Exhibit B**, which illustrates the parcel boundary revisions proposed by the district. The Lot Line Adjustment primarily segments off the northern portion of parcel RPM00000163190 and parcel RPM00000163195 creating one larger northern developable footprint (**Parcel A**). The school district would retain that northern parcel with the intention of developing the parcel for their own purposes, but not without considering shared use recreation. The southern and larger parcel (**Parcel B**) would then be auctioned off for private development and to accrue funding for the school district.

In accordance with McCall City Code and for the benefit of McCall-Donnelly School District, the City of McCall, the local community, and visitors, the following easements are included in the proposed ROS application.

1. Easement: Site Access

The district shall provide a 60-ft. access easement at the south portion of Parcel A. By providing this easement, the district (and in kind the City of McCall) can ensure a loop road is constructed to provide adequate access through the site and to Mission Street for the use of both parcels.

2. Easement: Payette Lakes Recreational Water & Sewer District

The district shall provide a 30-ft. wide utility easement (15-ft. on either side of pipe) running north/south encompassing the existing sanitary sewer line servicing the Wildwoods Condominiums parcel/s RPM0324000CMMN & RPM0522000CMMN.

3. Easement: Pedestrian and Bicycle Pathways

The school district shall provide a 15-ft. wide pedestrian and bicycle pathway easement on the northern portion of Parcel A parallel to Stibnite Street in accordance with the City of McCall Parks and Recreation Pathways Masterplan and to promote and maintain connectivity to the City of McCall's Frisbee Park parcel.

4. Easement: Snow storage and Drainage

The school district shall provide adequate snow storage and drainage easements to define and protect existing watershed/drainage pathways on Parcel A.

5. Easement: Avigation

The school district shall provide and avigation easement as required by the City of McCall and per the Avigation Easement template provided.

Our team looks forward to hearing from City staff and ultimately working with City staff to plan a quality project that we can all be proud of.

Sincerely,

Kerstin Dettrich

senior project manager

Kerstin Dettrich

THE LAND GROUP | thelandgroupinc.com

o. 208.939.4041



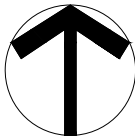
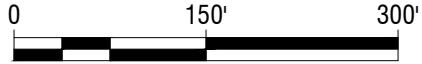
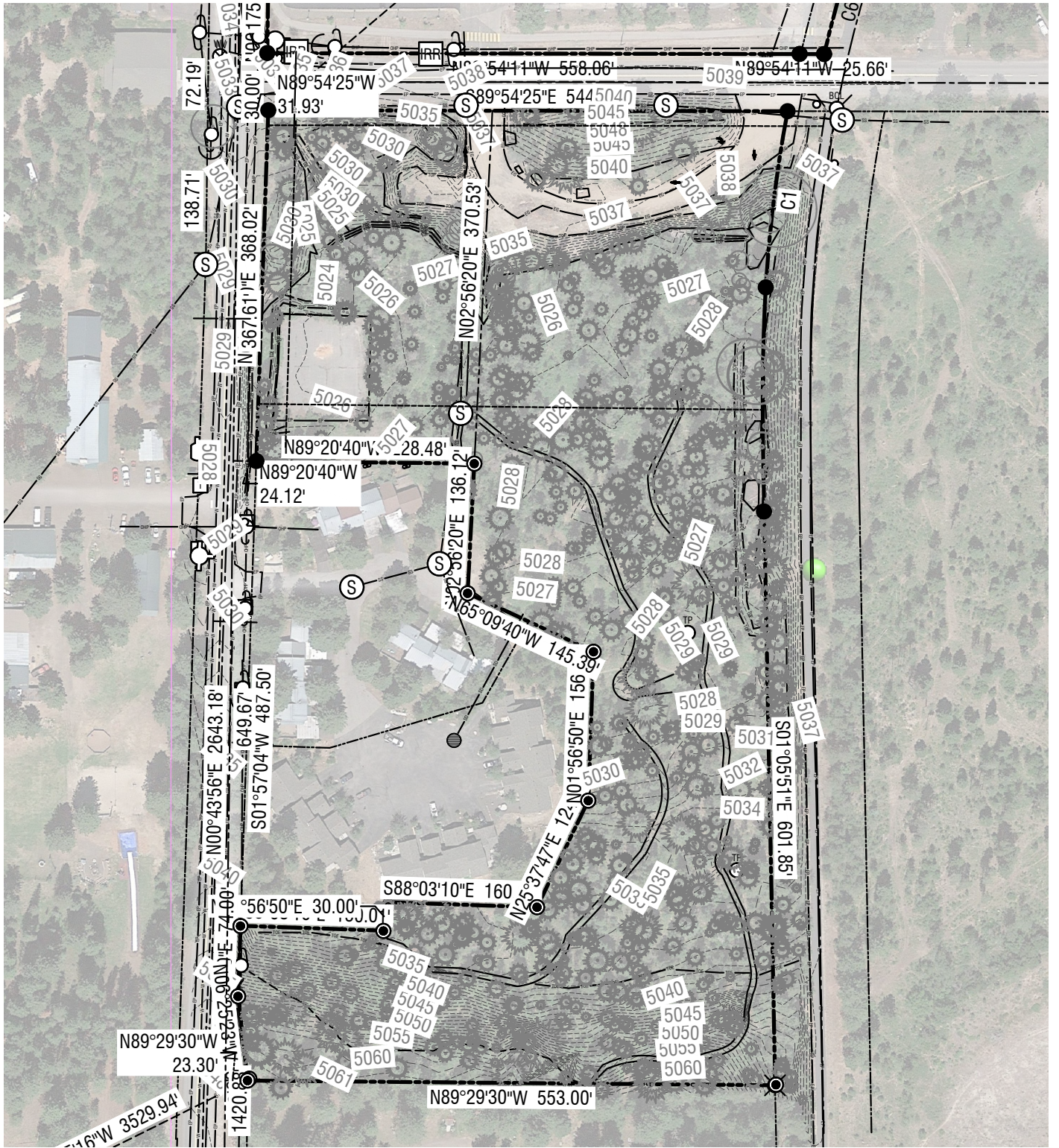


Exhibit A - Existing Parcel Conditions

Horizontal Scale: 1" = 150'

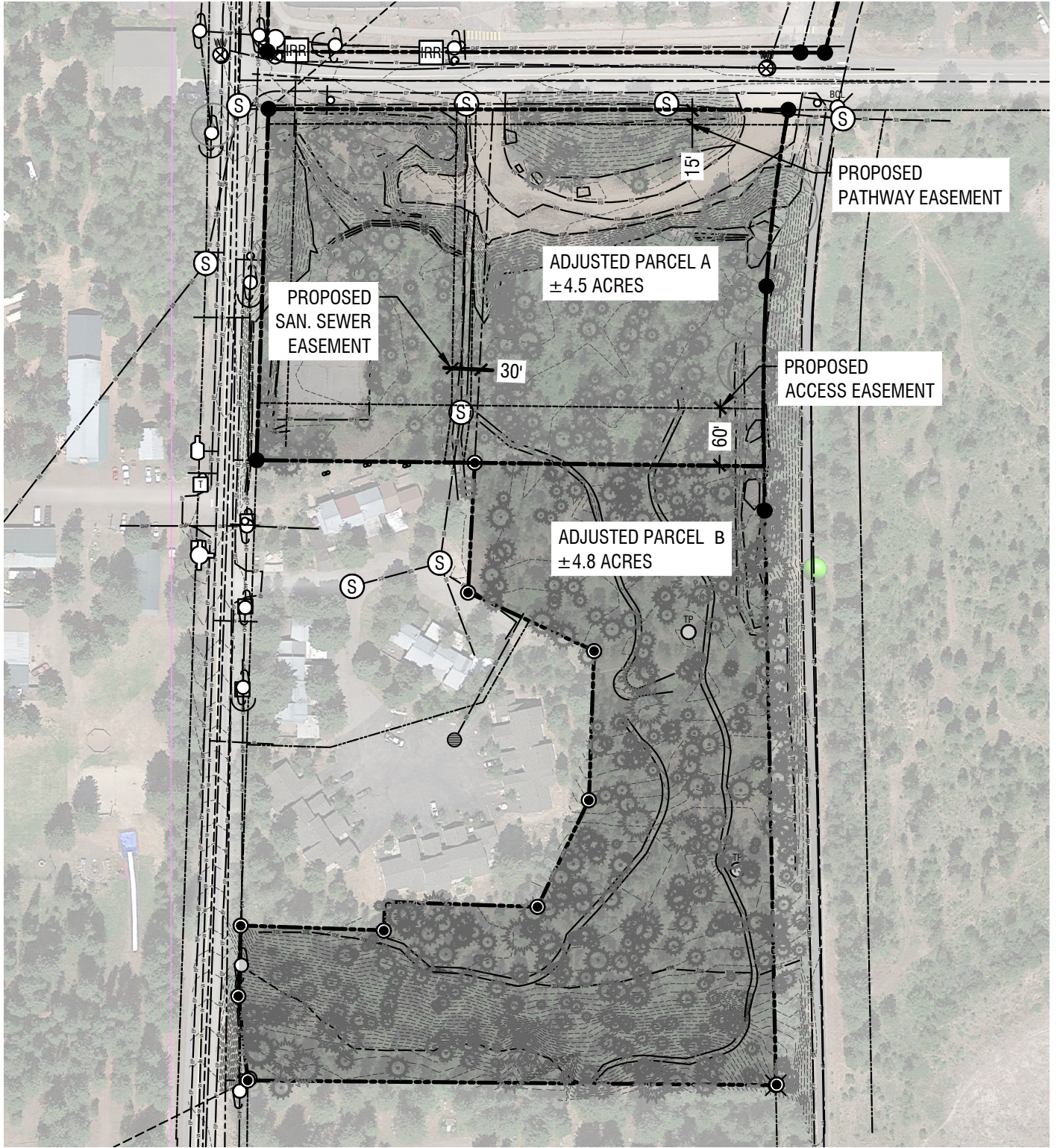
Project No.: 122079
Date of Issuance: 6-14-2022

File Location: g:\2022\122079\exam122079 ns exhibits r1.dwg
Last Plotted By: kerslin detlich
Date Plotted: Tuesday, June 14 2022 at 08:08 PM



**McCall Donnelly School District
Record of Survey - Existing Parcels
RPM00000163190, RPM00000163195**

EX.A



PROPOSED
PATHWAY EASEMENT

PROPOSED
SAN. SEWER
EASEMENT

ADJUSTED PARCEL A
±4.5 ACRES

PROPOSED
ACCESS EASEMENT

ADJUSTED PARCEL B
±4.8 ACRES

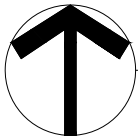
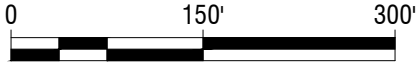


Exhibit B - Parcel Lot Line Adjustment

Horizontal Scale: 1" = 150'

Project No.: 122079
Date of Issuance: 6-14-2022

File Location: g:\2022\122079\exam\122079 nos exhibits r1.dwg
Last Plotted By: kersin.dettich
Date Plotted: Tuesday, June 14 2022 at 08:09 PM



**McCall Donnelly School District
Lot Line Adjustment
Proposed Parcel A & Parcel B**

EX.B

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142
F.208.634.3038

RECORD OF SURVEY INFORMATION



WHEN IS A RECORD OF SURVEY APPLICATION REQUIRED?

The following are the actions that are allowed to be achieved through a Record of Survey application (based on McCall City Code Section 9.1.05.B):

- Two (2) or more lots of record are being **combined**.
- A **lot line adjustment** between two (2) or more existing adjacent parcels, provided:
 - No additional parcels or building sites have been created, and
 - The adjustment does not create the potential to further divide either of the two (2) parcels into more parcels than would have been otherwise possible, and
 - There are no resulting violations of this title or title III of this code.
- A single, existing lot of record is being **divided** into not more than four (4) lots, as existed on March 24, 1994, and each lot or parcel within the proposed plat or survey clearly meets the applicable zoning regulations. *(Except that no lot may be redivided to undo a previous combination of lots except by application in accordance with Title 9, Chapter 2).*
- A subdivision of land in which no lot or parcel which would be created by the plat or survey is **less than forty (40) acres** in extent.
- The proposed plat or survey implements a **judicial decision**.
- The proposal is an **amended plat** which amends an existing final plat of record so as to make one or more minor adjustments.

WHAT ARE THE APPLICATION FORMAT STANDARDS?

An application needs to contain the following materials: Application, Project Narrative, and Survey. All of these materials must be provided in both **electronic and hard copies**. The required formats are:

Electronic Format

- All materials in Adobe PDF format. The Project Narrative and Survey should be exports from their respective programs, not scanned version of a printed copy; AND
- **1 Copy**, either email or CD-ROM

Hard Copy Format

- All materials besides the survey must be in 8 ½" x 11" format
- The Survey must be in 11" x 17" format.
- **4 Copies**, stapled (color if necessary).

WHAT MUST BE SUBMITTED WITH A R.O.S. APPLICATION?

Please check those boxes that are a part of your application.

- \$420 Fee** (includes \$70 County Surveyor Fee) [Mailed in direct o Brian Parker from school district](#)
- Application**, including:
 - Legal Description* (please call Valley County Assessor's Office for accurate description – 382-7126)
 - Signatures of ALL PROPERTY OWNERS AND REPRESENTATIVES*. [Refer to affidavit letter included](#)
- Project Description** (brief narrative explaining what the project is doing and why)

- Preliminary ROS included for meeting purposes**
 Survey, submitted in hard copy and as PDF file, including:

- Underlying Subdivision(s)*
- Existing Structures (all vertical construction)*
- Existing Property Lines*, specifically:
 - Subdivision Lot Lines (the platted lots that underlie current ownership boundaries)
 - Existing Ownership Lines (the boundaries of current ownership, not necessarily related to the platted subdivision lot lines)
- Proposed Property Lines* (the lot lines that will result from the proposed action)
- Setbacks* (from existing structures to existing and proposed property lines)
- Property Boundary*
- Survey Notes*, including:

- CITY CLERK SIGNATURE LINE:

Accepted and approved this _____ day of _____, 20____, by the City of McCall.

McCall City Clerk

- FOR ALL SURVEYS:

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

- n/a FOR SURVEYS DIVIDING PARCELS:

This record of survey has created ___ lots from the original lot as it existed on March 24, 1994. The original lot may only be divided to create ___ additional lots. No more than four (4) total lots may be created from the original lot, using the record of survey process. The creation of five (5) or more lots from a single, original lot, using the record of survey procedure, constitutes an illegal subdivision of land.

- n/a *High Water Mark – 4,992.59’ (SHORELINE ZONE APPLICATIONS ONLY)*

- Ties to at least two McCall Control Points*

- Easements* (all ingress/egress, access, utility, pathway, or road easements affecting the property)

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission.

WHAT HAPPENS AFTER R.O.S. APPROVAL BY CITY OF MCCALL?

After an application is approved by the McCall Area Planning and Zoning Commission, the applicant must submit the following to the McCall Community Development Department:

- Hard copy of survey to be recorded with appropriate signature lines.
- PDF file of the *final* survey, once recorded.
- DWG file of the *final* survey, submitted according to the [GIS Digital Submission Standards](#).

The City of McCall will approve and sign the final survey then return it to the applicant for delivery to the Valley County for official recordation.

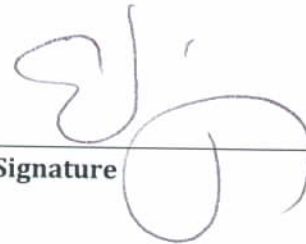
AFFIDAVIT

State of Idaho
County of Valley

I, Eric Pingrey, as a representative of the McCall Donnelly School District, the owner of record of the property described on the attached, grant my permission to The Land Group Inc. 462 East Shore Drive, Suite 100 Eagle, Idaho 83616 to submit the accompanying application/s pertaining to that property.

I declare under penalty of perjury under Idaho law that the foregoing is true and correct.

DATED this 08 day of June 2022



Signature

Eric Pingrey

Printed Name

NOTARY ACKNOWLEDGEMENT

State of Idaho

) (Seal)

County of Valley

)



The foregoing instrument was acknowledged before me this 8th day of June, 2022 by the undersigned, Eric Pingrey, who is personally known to me satisfactorily proven to me to be the person whose name is subscribed to the within instrument.


Signature

Ginger Hughes
Notary Public

My commission expires: 12-17-22

Meredith Todd

From: Morgan Stroud
Sent: Monday, August 1, 2022 8:21 AM
To: Jason Clay
Cc: Brian Parker; Meredith Todd
Subject: ROS22-09 - TBD Stibnite St - Engineering Review

The Public Works Department has reviewed the documents submitted for review for **ROS22-10** and have the following comments and concerns.

1. Stibnite Street and Mission Street are classified as collectors, and the minimum standard right-of-way width is 70 feet, with a half width of 35 feet. It is unclear from the document submitted if sufficient half right-of-way widths are present. If there is less than 35 feet of half right-of-way, the difference should be dedicated.
2. Full right-of-way widths need to be labeled on the Record-of-Survey.
3. Future watermains to serve the properties will need to be located within a watermain or utility easement a minimum of 30 feet in width.
4. A 12-foot snow storage, drainage and utility easements will need to be dedicated along the property frontages on Mission St and Stibnite.
5. ROS boundary shall include two separate control ties to city of McCall control points. The ties must be tied to two different control points and those control points must tie to separate corners within the drawing.
6. Once the final ROS draft is complete, two digital CAD files, prepared in accordance with the City's digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here: <https://evogov.s3.amazonaws.com/141/media/115532.pdf>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Thank you,



McCall Public Works

Morgan Stroud, E.I.T.
Staff Engineer
(D) 208.634.3458
(C) 208.315.2299
www.mccall.id.us/engineering

McCall Area Planning and Zoning Commission

Staff Report

ROS-22-10

Lot Line Adjustment

905 Ironwood Street

August 2, 2022

Applicant: Payette Lake Club, Matthews-Fisher Family Trust

Representative: John Russell

Application: Record of Survey

Zoning District: R4 - Low Density Residential

Jurisdictional Area: Area of Impact

Description

An application for a Record of Survey to adjust boundaries to satisfy a settlement agreement between property owners. The resulting parcels will total 7,619 square feet, 601 square feet, and 1,391 square feet, respectively.

Staff Analysis

Project Information

Zoning District: R4 - Low Density Residential

Comprehensive Plan Designation: Low Density Residential

Project Acreage: 9.3 acres

Proposed Use: No change

Code Sections of Interest

- McCall City Code Section 9.1.05(B)(1): Eligibility for Record of Survey Procedure:

To be eligible for processing under subsection (B)2 of this section, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out in this subsection (B)1:

(a) No lot or parcel which would be created by the plat or survey is less than forty (40) acres in extent; or

(b) A single, existing lot of record is being divided into not more than four (4) lots other than as part of an evident marketing program of greater extent, each lot or parcel within the proposed plat or survey clearly meets the lot size regulations of the applicable zone, and the McCall area comprehensive plan, and each lot or parcel within the proposed survey either

meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than is the single, existing lot of record; or

(c) Two (2) or more lots of record are being combined; or

(d) Two (2) or more lots of record are shown, and lots are being combined and/or divided in such fashion that the lot sizes would be proper were the land the subject of a formal subdivision of no greater extent, and each lot or parcel within the proposed survey either meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than are the lots of record; or

(e) The proposed plat or survey implements a judicial decision in a probate, partition, or quiet title action, which decision decrees the setting off of individual lots or parcels to individual parties to or beneficiaries of the action, and every lot or parcel within the proposed plat or survey meets applicable zoning and the applicable comprehensive plan; provided, that the administrator need not recognize for these purposes a partition or quiet title action to which the city was not made a party and which the administrator concludes in the administrator's discretion was maintained to evade these regulations; or

(f) The proposed plat or survey is coextensive with and only further defines (including combining) one or more existing, contiguous lots of record, and each such lot of record was both of record and in several ownerships from any contiguous other lot of record on March 16, 2006; or

(g) The proposal is an amended plat which amends an existing final plat of record so as to make one or more minor adjustments in lot boundaries reflecting final construction of roads or amenities, the number and configuration of lots is unchanged, and there are no significant land use planning considerations not addressed as of the time of such final plat; or

(h) Except that no lot may be redivided to undo a previous combination of lots except by application in accordance with chapter 2 of this title; or

(i) A lot line adjustment between two (2) or more existing adjacent parcels, provided:

(1) No additional parcels or building sites have been created, and

(2) The adjustment does not create the potential to further divide either of the two (2) parcels into more parcels than would have been otherwise possible, and

(3) There are no resulting violations of this title or title III of this code.

(j) Land conveyed to or from a public utility, or for land conveyed to a subsidiary of a public utility for conveyance to such a public utility for right of way, unless a showing is made in individual cases, upon substantial evidence, that public policy necessitates a parcel map.

- McCall City Code Section 9.1.05(B)(2)(d): Application Qualifies:

If the administrator determines that the application qualifies for record of survey procedure, the administrator may thereafter waive the application of some or all provisions of this chapter. However, the following three (3) conditions cannot be waived:

(1) Name, and evidence of ownership; and

(2) The preparation and recording of a record of survey pursuant to Idaho Code; and

(3) The preparation, execution, and securing of the performance of an agreement in form and scope similar to a development agreement, which addresses necessary improvements.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:

McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.

- Deep Dive – Future Land Use Designations – High Density Residential:

This land use designation is intended to provide the development of neighborhoods with multiple-family dwelling units and is intended to encourage a variety of housing opportunities.
Implementing Zoning Districts: R-16

Staff Discussion

- The intent of this Record of Survey application is to adjust the property boundaries between several parcels to be consistent with the outcome of a legal settlement between the Payette Lake Club and the Matthews-Fisher Family Trust. No new nonconforming parcels are going to be created through this record of survey.

Comments

Agency –

McCall Public Works

In an email dated June 24, 2022, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **ROS22-07** and have the following comments and concerns.

A 12' Snow storage, drainage, and utility easement will need to be declared along Chipmunk Ln, and Lick Creek Rd, and shown on this Record-of-Survey. Please let me know if you need our template for this declaration.

1. Location of control points, DDSS's state that the nearest control points should be used. Is 'McGolf' the closest control point in the network to this project? It is difficult for us to identify if it is the closest control point without digital data.
2. Once the final ROS draft is complete, two digital CAD files, prepared in accordance with the City's digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here: <https://evogov.s3.amazonaws.com/141/media/115532.pdf>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Public –

No public comment has been received.

Staff Recommendation

Staff recommends approval of this application with the Conditions of Approval listed below.

Conditions of Approval

1. The applicant shall record the survey with the following note(s) on the face of the plat:

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

2. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
3. Prior to recordation, the applicant shall receive final engineering approval.
4. The applicant shall provide the City with a .PDF copy of the recorded survey and recorded legal description immediately upon recordation.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

City of McCall
216 East Park Street
McCall, Idaho 83638
P. 208.634.7142

LAND USE APPLICATION



RECEIVED

Date Received: _____
By Meredith Todd at 9:51 am, Jun 21, 2022

NOTICE OF ADDITIONAL FEES

Subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # AZ0 Record of Survey (ROS) - \$420
- # _____ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # _____ Scenic Route (SR) - \$300
- # _____ Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Administrative Approval (AA) - \$50
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: Payette Lake Club Email: Sjm@mpmplaw.com
Mailing Address: 6149 N. Moecker, #150, Boise ID 83713 Phone: 208-634-7641
Property Owner 2 (if Applicable): Matthews-Fisher Family Trust Email: _____
Mailing Address: P.O. Box 531, McCall, ID 83638 Phone: _____

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: John Russell as agent Email: RussellGeometric@gmail.com
Mailing Address: P.O. Box 915, McCall ID 83638 Phone: 208-630-4737

PROPERTY INFORMATION

Address(es) of Property: #955 & #905 Ironwood
Legal Description of Property: (attached)
Zoning District of Property: R-4 Project Sq. Footage (if Applicable): N/A
Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information, if needed)

The boundaries of three parcels, changed to reflect a Settlement Agreement between the owners. (See attached Composite Legal.pdf)

SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

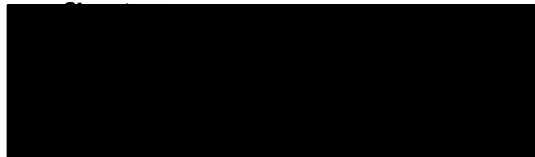
I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

Property Owner 1

Signature

Property Owner 2 (If Applicable)

John Russell as agent:
Agent/Authorized Representative

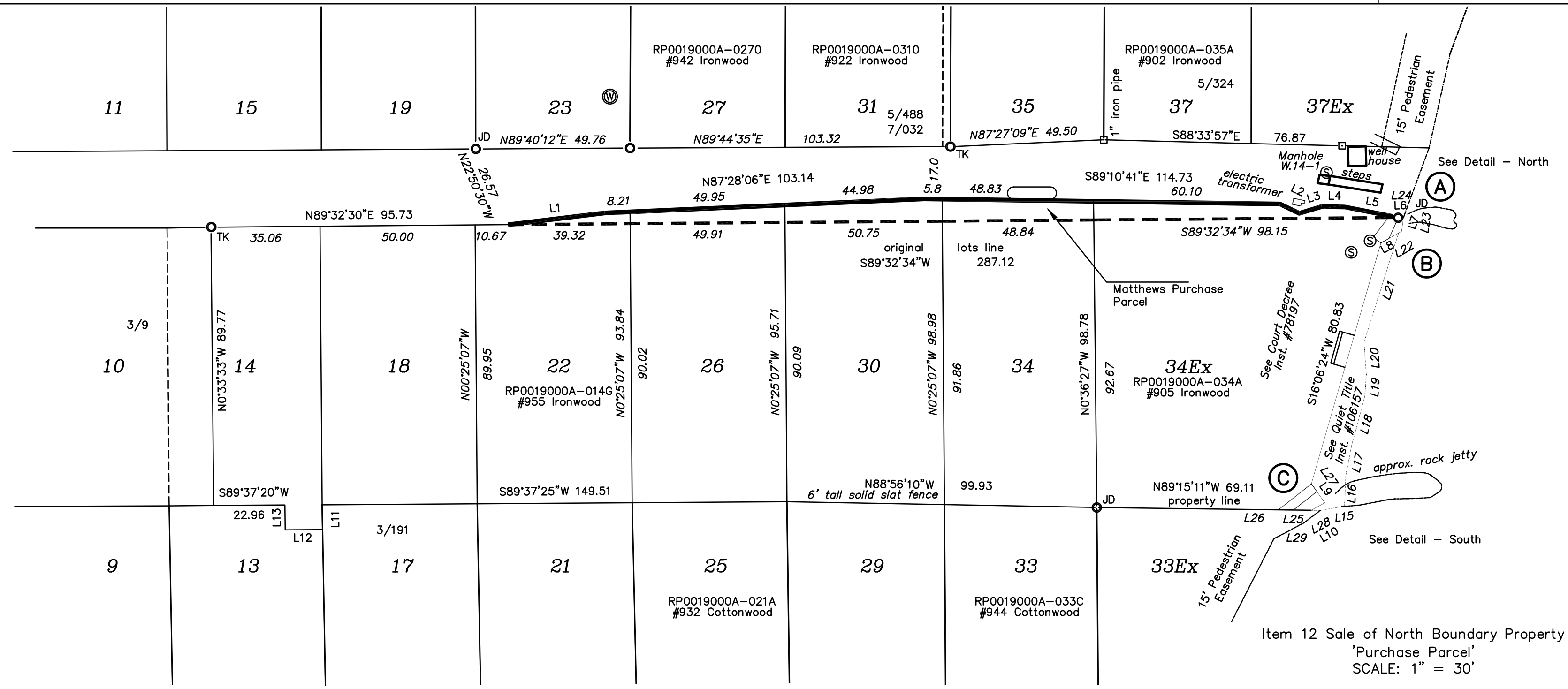


FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

[Signature]
Surveyor

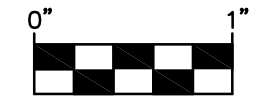
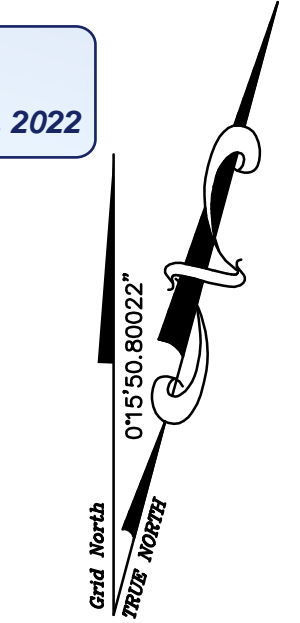
John Russell
Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.



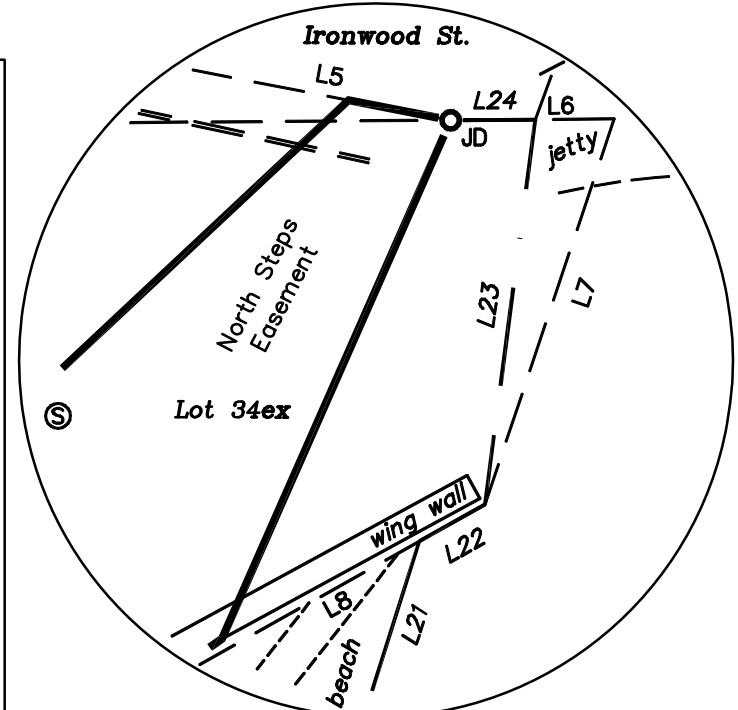
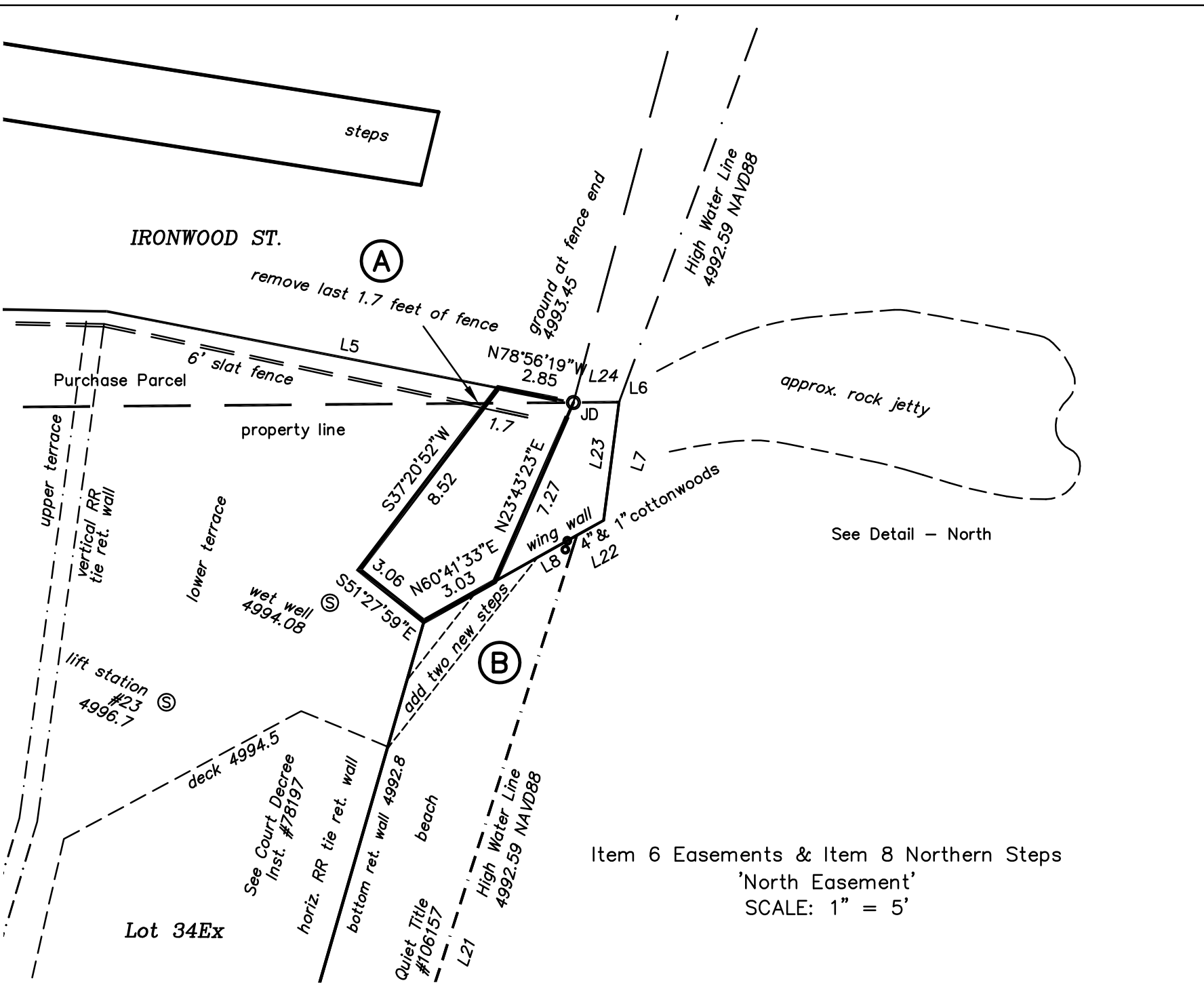
RECORDERS STAMP
 Book _____, Page _____
 of Records of Surveys.

RECEIVED
 By Meredith Todd at 9:53 am, Jun 21, 2022



SCALE: as noted
 Bearings based on GPS derived State Plane Grid

Item 12 Sale of North Boundary Property
 'Purchase Parcel'
 SCALE: 1" = 30'



DETAIL - North
 High Water Line
 Not to Scale

LEGEND

- = found unmarked 1/2" rebar, or mkd. as noted
- TK = Tom Kerr LS 998
- JD = Joel Droulard LS 5357
- = other monument as noted
- 3/9 = Record of Survey Book/Page
- ⊙ = Sewer Manhole
- 4993.5 = spot elevation
- = propane tank
- 32" = select tree Ponderosa Pine (PP), or Douglas Fir (DF), or Cottonwood, with diameter

LINE	LENGTH	BEARING
John Gletne - Matthews Boundary		
L1	31.32	N83°05'42"E
L2	6.94	S64°12'22"E
L3	7.52	N73°18'24"E
L4	7.45	S88°59'55"E
L5	17.69	S78°56'19"E
L6	2.60	N89°23'30"E not used
L7	4.65	S18°31'26"W not used
L8	7.67	S60°41'33"W
L9	9.00	S35°19'47"E not used
L10	2.64	S61°27'26"W not used
L11	8.00	S00°33'33"E
L12	12.00	S89°37'20"W
L13	8.00	N00°33'33"W
Composite High Water Line - JG & JD & JR		
L14	2.82	S00°44'49"W
L15	7.94	N80°11'07"E
L16	9.86	N02°20'55"E
L17	10.12	N11°00'28"E
L18	16.32	N14°59'37"E
L19	6.95	N03°49'58"E
L20	10.47	N04°03'17"W
L21	36.90	N17°33'23"E
L22	1.14	N60°41'33"E
L23	4.43	N07°25'23"E
North Boundary - JD pin to hwl		
L24	1.70	S89°28'10"W
South Boundary - hwl to easement		
L25	8.69	N89°15'11"W
South Boundary - easement to 15' pedestrian		
L26	13.43	N89°15'11"W
South Boundary - modified		
L27	7.54	N35°19'47"W
L28	5.05	N61°27'26"E
L29	5.73	S89°15'11"E

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

McCALL CITY CLERK
 Accepted and approved this _____ day of _____
 20_____, by the City of McCall.
 McCall City Clerk _____

For ties to McCall Survey Control Network, see Sheet 2

SURVEY NARRATIVE [I.C. 55-1906-6 (a-c)]:
 a. The survey was performed to document evidence of occupation, boundary, and culture, along the south right of way of Ironwood Street, and the riparian area adjacent to Lot 34ex (aka Tax #57) of Group A, Payette Lake Club. The conclusion of that work resulted in a settlement between the parties, and this Record of Survey documents the conditions of that agreement. All found monuments appear to be original and in true plan position. Measured distances between found original monuments are shown.

b. The original plat, various deeds, a Court Decree, and Quiet Title action, along with the conditions of said agreement, control this survey.

c. The vertical component of this survey, mainly relating to the elevation of the high water line of Payette Lake, has been derived from GPS observations.

Ties to public land survey [I.C. 55-1906-5]:
 Survey falls within previously platted subdivisions, so ties to found corners suffice.

SURVEY NOTES:
 Survey was performed with Trimble 5800 RTK-GPS units and Nikon 1" Total Station. Base Station PLC1 (City Control) was corrected using NGS OPUS CORS solutions for 7 hours observations on 4/23/13. It has been occupied since, as well. All drafting elements are at ground including bearings, distances, and elevations. THIS DRAWING IS AT GROUND. State Plane Coordinates HAVE been modified in the drawing. To get back to grid use a Combined Factor of .999707639 applied at PLC1. Elevations are at ground, derived from the Geoid 12B model, Epoch 2010. Bearings are Grid. Mapping angle is -0°15'50.80022".

DRAWN: J.Russell DATE: 7/15/21 SHEET: 1 of 2
 REV: JER 7/18, 8/17, 12/2/21, 1/7-2/7/22, 3/10-11/22
 RSI #21-097 (18-046, 1-001, 0-042, 96-007, etc.) Drawing: 21-97M.dwg R0S1 tab
 (C) Ironwood Map, Russell Geometric (2022) All Rights Reserved

Russell Surveying, Inc. ~ McCall, Idaho

I, John Russell, Idaho Professional Land Surveyor #6021, do hereby certify that this plat was prepared from notes taken during an actual survey made by me or under my direct supervision, in 2018 & 2021 and that it correctly represents the points, courses and distances as recorded in said field notes.



RECORD of SURVEY for
PAYETTE LAKE CLUB & MATTHEWS-FISHER FAMILY TRUST
 Settlement & Mutual Release Agreement

situated in Govt. Lot 4,
 Section 5, T.18N., R.3E., B.M.
 in Group A Payette Lake Club
 Valley County, Idaho

June 2022
 6/18/22 Sheet 1 of 2

RECORDERS STAMP

Book _____, Page _____
of Records of Surveys.

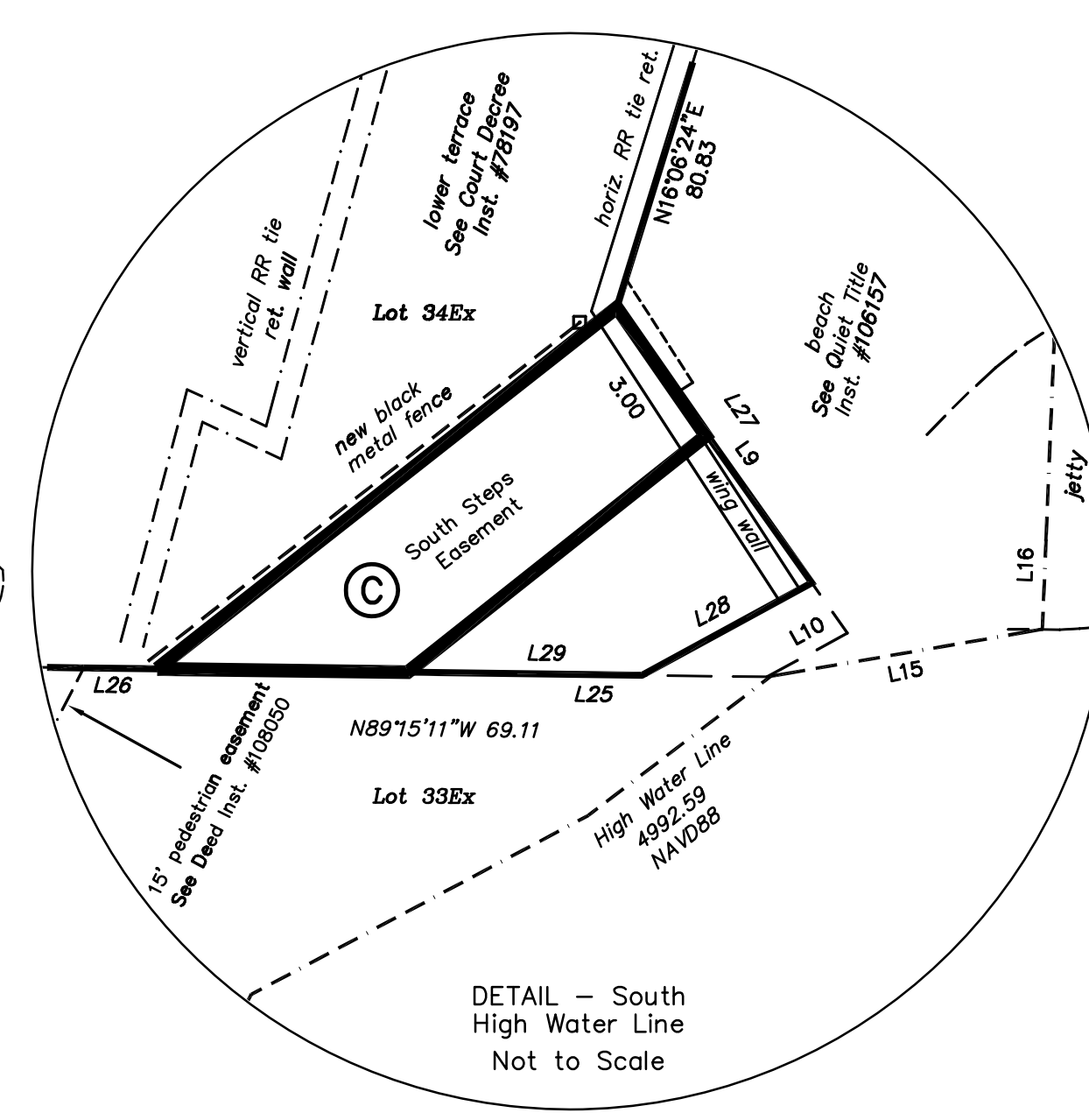
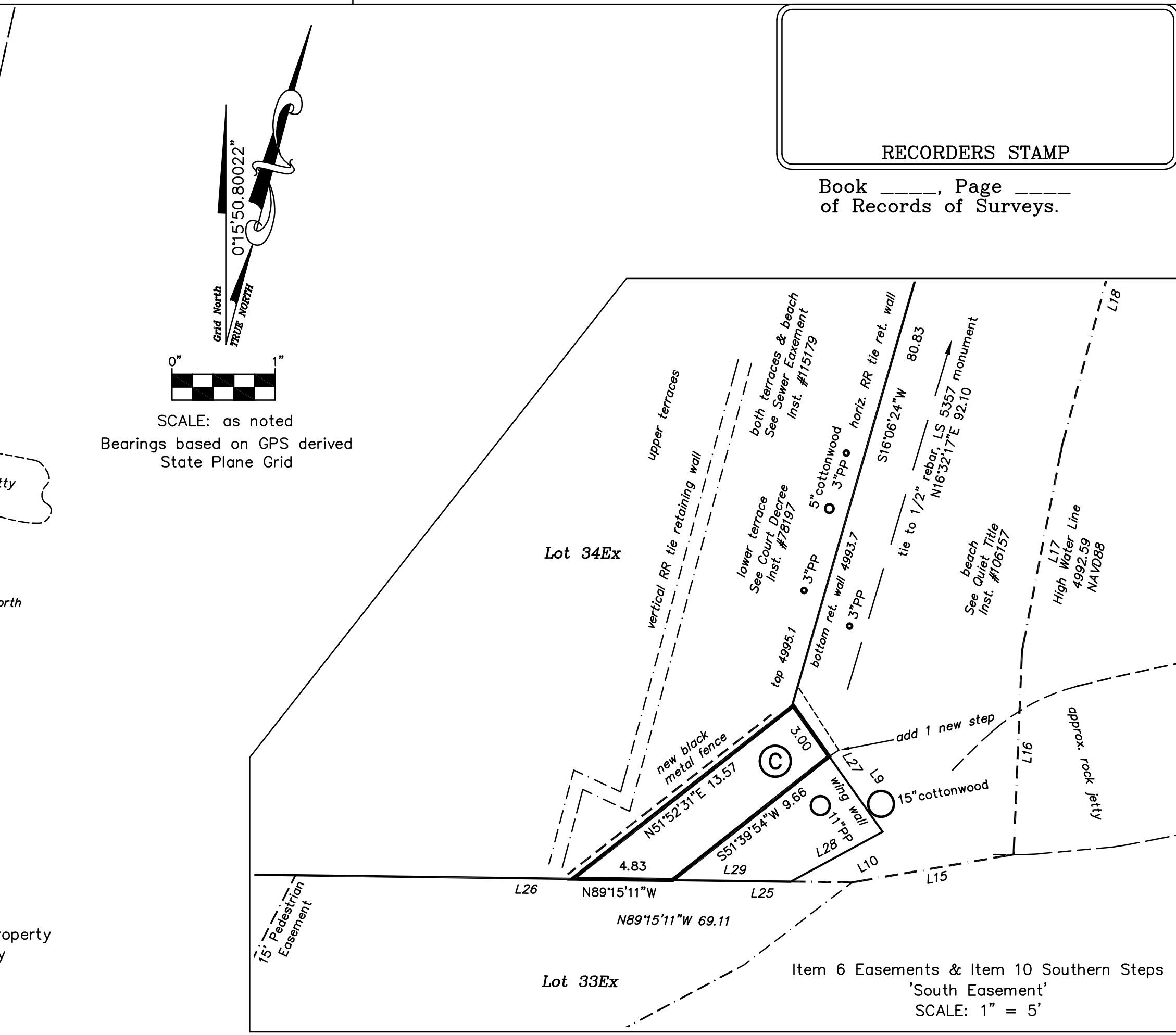
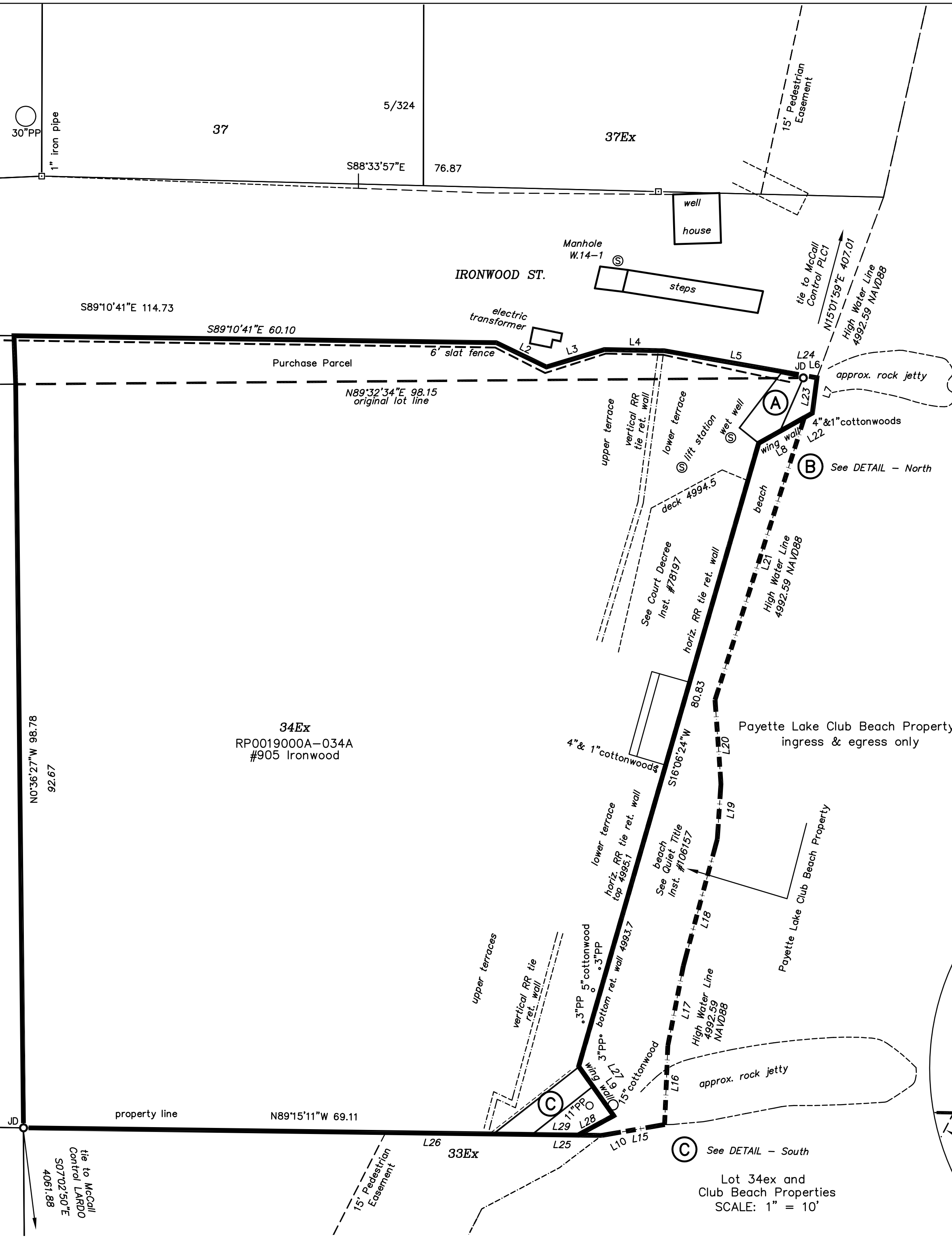
SCALE: as noted
Bearings based on GPS derived
State Plane Grid

RECEIVED
By Meredith Todd at 9:53 am, Jun 21, 2022

RECORD of SURVEY for
**PAYETTE LAKE CLUB &
MATTHEWS-FISHER FAMILY TRUST**
Settlement & Mutual Release Agreement

situated in Govt. Lot 4,
Section 5, T.18N., R.3E., B.M.
in Group A Payette Lake Club
Valley County, Idaho

June 2022
6/18/22 Sheet 2 of 2



SURVEY NOTES:
Survey was performed with Trimble 5800 RTK-GPS units and Nikon 1" Total Station. Base Station PLC1 (City Control) was corrected using NGS OPUS CORS solutions for 7 hours observations on 4/23/13. It has been occupied since, as well. All drafting elements are at ground including bearings, distances, and elevations. THIS DRAWING IS AT GROUND. State Plane Coordinates HAVE been modified in the drawing. To get back to grid use a Combined Factor of .999707639 applied at PLC1. Elevations are at ground, derived from the Geoid 12B model, Epoch 2010. Bearings are Grid. Mapping angle is -0°15'50.80022".

DRAWN: J.Russell DATE: 7/15/21 SHEET: 2 of 2
REV: JER 7/18, 8/17, 12/2/21, 1/7-2/7/22, 3/10/22
RSI #21-097 (18-046, 1-001, 0-042, 96-007, etc.) Drawing: 21-97M.dwg ROS2 tab
(C) Ironwood Map, Russell Geometric (2022) All Rights Reserved

COMPOSITE LEGAL DESCRIPTIONS

City of McCall Record of Survey Application

**Payette Lake Club & Matthews-Fisher Family Trust owners,
affecting parcels in Group A Payette Lake Club, being:**

Ironwood Street and riparian area east of Lot 34 ex, no parcel numbers, Zone R-4; owners Payette Lake Club, 6149 North Meeker #150, Boise ID 83713

and

#955 Ironwood, RP0019000A014G (part Lot 14 and Lots 18, 22, 26, and 30 Group A); and #905 Ironwood, RP0019000A034A (Lots 34 and 34ex Group A), all in Zone R-4; owners Matthews-Fisher Family Trust, P.O. Box 531, McCall ID 83638.

Three parcels of land, whose boundaries have been changed by a settlement agreement between the owners.

Parcel 1, Lot 34ex Group A – wherein its riparian boundary is defined:

LEGAL DESCRIPTION

Lot 34ex Group A

EXHIBIT G

A parcel of land falling in Government Lot 4 of Section 5, Township 18 North, Range 3 East, Boise Meridian, Valley County, Idaho. Said parcel is known variously as Tax 57, and as Lot 34ex of Group A, Payette Lake Club. This parcel is being created to satisfy terms of that Settlement and Mutual Release Agreement dated October 19, 2021, and is more particularly described by a recent land survey as follows:

Beginning at a point on the north boundary of said Lot 34ex, monumented with a ½ inch rebar marked PLS 5357;
Thence along said north boundary N.89°28'10"E., 1.70 feet to a point on the ordinary high water line of the Payette Lake;
Thence along said high water line, S.7°25'23"W. 4.43 feet to a point at the end of the north wing wall of the horizontal railroad tie retaining wall;
Thence along the outside face of said wing wall, S.60°41'33"W., 7.67 feet to an angle point on said outside face;
Thence continuing along said outside face, S.16°06'24"W., 80.83 feet to another angle point on said outside face;
Thence along said outside face, being the south wing wall, S.35°19'47"E., 7.54 feet to the end of said wing wall;
Thence departing said wing wall, S.61°27'26"W., 5.05 feet to a point on the south boundary of said Lot 34ex;
Thence along said south boundary, N.89°15'11"W., 69.11 feet to the southwest corner of Lot 34ex, also being the southeast corner of Lot 34;
Thence along the west boundary of Lot 34ex, also being the east boundary of Lot 34, N.0°36'27"W., 92.68 feet to the northwest corner of Lot 34ex, also being the northeast corner of Lot 34;
Thence along the north boundary of Lot 34ex, also being the south right of way of Ironwood Street, N.89°32'34"E., 98.15 feet to the Point of Beginning.

Containing 7,619 square feet or 0.1749 acres, more or less.

Written by John Russell ID PLS 6021 on February 7, 2022

Parcel 2, Payette Lake Club Beach property, wherein its boundaries are defined, falling between Lot 34ex and the high water line of Payette Lake:

LEGAL DESCRIPTION
Payette Lake Club Beach Property
EXHIBIT F

A parcel of land falling in Government Lot 4 of Section 5, Township 18 North, Range 3 East, Boise Meridian, Valley County, Idaho. Said parcel entails all that land falling between the east boundary of the parcel known variously as Tax 57, and as Lot 34ex of Group A, Payette Lake Club, and the ordinary high water line of the Payette Lake. This parcel is being created to satisfy terms of that Settlement and Mutual Release Agreement dated October 19, 2021, and is more particularly described by a recent land survey as follows:

Commencing at a point on the north boundary of said Lot 34ex, monumented with a ½ inch rebar marked PLS 5357; thence along said north boundary N.89°28'10"E., 1.70 feet to a point on the ordinary high water line of the Payette Lake; thence along said high water line, S.7°25'23"W. 4.43 feet to a point at the end of the north wing wall of the horizontal railroad tie retaining wall; thence along the outside face of said wing wall, S.60°41'33"W., 1.14 feet to the Point of Beginning.

Thence continuing along said outside face, S.60°41'33"W., 6.53 feet to an angle point on said outside face;

Thence continuing along said outside face, S.16°06'24"W., 80.83 feet to another angle point on said outside face;

Thence along said outside face, being the south wing wall, S.35°19'47"E., 7.54 feet to the end of said wing wall;

Thence departing said wing wall, S.61°27'26"W., 5.05 feet to a point on the south boundary of said Lot 34ex;

Thence along said south boundary, S.89°15'11"E., 2.96 feet to the ordinary high water line of Payette Lake;

Thence along said high water line, N.80°11'07"E., 7.94 feet to a point;

Thence N.2°20'55"E., 9.86 feet to a point;

Thence N.11°00'28"E., 10.12 feet to a point;

Thence N.14°59'37"E., 16.32 feet to a point;

Thence N.3°49'58"E., 6.95 feet to a point;

Thence N.4°03'17"W., 10.47 feet to a point;

Thence N.17°33'23"E., 36.90 feet to the Point of Beginning.

Containing 601 square feet or .0138 acres, more or less.

Written by John Russell ID PLS 6021 on February 7, 2022

Parcel 3, South Right of Way of Ironwood Street, wherein its new boundary is defined (said lands now attaching to Lot 34ex and Lots 22, 26,30, and 34 Group A):

LEGAL DESCRIPTION
Settlement Agreement Item 12 – Sale of North Boundary Property
EXHIBIT E

A parcel of land falling in Government Lot 4 of Section 5, Township 18 North, Range 3 East, Boise Meridian, Valley County, Idaho. Said parcel entails that land enclosed, variously by a six foot tall slat fence, an in ground railroad tie approach to the garage, and a small amount of land, all falling north of the original northern boundary of Lots 34 and 34ex of Group A of the Payette Lake Club, and in the platted right of way of Ironwood Street. This parcel is being created to satisfy terms of that Settlement and Mutual Release Agreement dated October 19, 2021, found in Item 12, and is more particularly described by a recent land survey as follows:

Beginning at a point on the north boundary of said Lot 34ex, monumented with a ½ inch rebar marked PLS 5357; thence along the north boundaries of Lot 34ex and Lot 34, also being the south right of way of Ironwood Street, S.89°32'34"W., 287.12 feet to a point;
Thence departing said boundary and right of way, N.83°05'42"E., 31.32 feet to a point;
Thence N.87°28'06"E., 103.14 feet to a point;
Thence S.89°10'41"E., 114.73 feet to a point;
Thence S.64°12'22"E., 6.94 feet to a point;
Thence N.73°18'24"E., 7.52 feet to a point;
Thence S.88°59'55"E., 7.45 feet to a point;
Thence S.78°56'19"E., 17.69 feet to the Point of Beginning.

Containing 1,391 square feet or .0319 acres, more or less.

Written by John Russell ID PLS 6021 on February 7, 2022

Meredith Todd

From: Morgan Stroud
Sent: Friday, July 29, 2022 9:03 AM
To: Steve Millemann Cell; John Russell
Cc: Brian Parker; Meredith Todd
Subject: ROS22-10 - 905 Ironwood St - Engineering Review #1

The Public Works Department has reviewed the documents submitted for review for **ROS22-10** and have the following comments and concerns.

1. ROS boundary shall include two separate control ties to city of McCall control points. The ties must be tied to two different control points and those control points must tie to separate corners within the drawing.
2. Once the final ROS draft is complete, two digital CAD files, prepared in accordance with the City's digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here: <https://evogov.s3.amazonaws.com/141/media/115532.pdf>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Thank you,



Morgan Stroud, E.I.T.
Staff Engineer
(D) 208.634.3458
(C) 208.315.2299
www.mccall.id.us/engineering

McCall Area Planning and Zoning Commission
Staff Report
SR-22-10

1021 Kaitlyn Loop

August 2, 2022

Applicant: Hunter Homes
Representative: Steve Edwards
Application: Scenic Route Review
Zoning District: R4 - Low Density Residential
Jurisdictional Area: City Limits

Description

An application for Scenic Route review to construct a new single-family home along the Lick Creek Road Scenic Route. The property is part of the Lick Creek Meadows subdivision and has an approved Architectural Review Committee, therefore only the Scenic Route guidelines are before the commission for review.

Staff Analysis

Project Information

Zoning District: R4 - Low Density Residential

Comprehensive Plan Designation: Low Density Residential

Project Acreage: 0.39-acres (16,849 square-feet)

Proposed Use: Single-family residential

Dimensional Standards:

	Proposed	Required
Front Setback	24-feet, 0-inches	Greater than 15-feet
Rear Setback	44-feet, 1-inches	Greater than 10-feet
Side Yard Setback 1	22-feet, 6-inches	Greater than 10-feet, 6-inches
Side Yard Setback 2	20-feet, 0-inches	Greater than 10-feet, 6-inches
Eave Height 1	19-feet, 9-inches	Less than 35-feet, 0-inches
Eave Height 2	17-feet, 6-inches	Less than 35-feet, 0-inches
Both Side Setbacks must add up to:	42-feet, 6-inches	Greater than 20-feet, 0-inches
Lot Coverage (square-feet)	2,936 square-feet	Less than 3,687 square-feet
Lot Coverage (percent)	22.5%	Less than 28.3%
Snow Storage	square-feet	Greater than 200 square-feet
Building Height	19-feet, 9-inches	Less than 35-feet
Structure Size	2,660 square-feet	Less than 10,000 square-feet

Code Sections of Interest

- McCall City Code Section 3.7.032(B): Commission Deliberation

The commission shall ascertain whether the proposed development, improvement or use will:

1. Block or disrupt the visibility of significant views or features.
2. Be compatible (in terms of setback, bulk, height, design, finish materials, signing and landscaping) with its immediate surroundings and the desired visual quality of the scenic route.

- McCall City Code Section 3.7.032(I): Landscaping

In addition to the requirements set forth in section 3.8.13 “Landscaping, Screening And Buffering,” development within the scenic route zones shall provide the following landscaping to achieve natural aesthetic looking form with plant arrangements:

1. One (1) native tree including evergreen and deciduous and five (5) native shrubs per one hundred (100) square feet of required street setback. Not less than fifty percent (50%) shall be evergreen trees.
2. The location and arrangement of the required landscaping shall be grouped within the setback area. Linear designed landscaping is not acceptable.
3. If conflicts arise between this section and section 3.8.04 “Fire Mitigation Standards,” a recommended resolution will be the responsibility of the McCall Fire Protection District or the Administrator.

- McCall City Code Section 3.16.02(D):

Any application within a residential zone which is subject to a subdivision design approval, and for which the design guidelines of the subdivision have been reviewed and approved by the commission, shall show evidence of subdivision design review and approval by the authority of the subdivision prior to the granting of a building permit. Absent such evidence, the applicant shall proceed under the procedures below.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:

McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.

- Deep Dive – Future Land Use Designations – Low Density Residential:

This land use designation is intended to provide for the development of low density single-family residential neighborhoods. These neighborhoods consist of larger home sites.

Staff Discussion

- The applicant is requesting scenic route approval for a new single-family residence located within 150-feet of Spring Mountain Boulevard, a designated Scenic Route. Lick Creek Meadows Subdivision has an approved design review approval process, so a Design Review application is not necessary pursuant to McCall City Code Section 3.16.02(D).
- The site plan does not identify snow storage areas, but adequate space appears to exist on site. Prior to the issuance of a building permit, the applicant should provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of driveway and walkway area located on the property.
- The landscape plan shows quaking aspens planted in a zigzag pattern along Lick Creek Road. McCall City Code Section 3.7.032(I)(2) requires groupings of plantings to mimic natural growth patterns. Prior to the issuance of a building permit, the applicant should provide a revised landscape pattern utilizing a less linear pattern for the planting of the quaking aspen along Lick Creek Road.

Comments

Agency –

McCall Public Works

In an email dated

Payette Lakes Recreational Water and Sewer District

See attached letter dated July 19, 2022.

Public –

No public comment has been received.

Staff Recommendation

Staff recommends approval of this application with the Conditions of Approval listed below.

Conditions of Approval

1. Prior to the issuance of a building permit, the applicant shall obtain final engineering approval.
2. Prior to issuance of a building permit, the applicant shall provide the City with a copy of the HOA Design Review Committee approval letter.
3. Prior to the issuance of a building permit, the applicant shall provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of driveway and walkway area located on the property.

4. Prior to the issuance of a building permit, the applicant shall provide a revised landscape pattern utilizing a less linear pattern for the planting of the quaking aspen along Lick Creek Road.
5. Pursuant to McCall City Code (MCC 3.16.08), design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.



City of McCall

Application

Date: 06/30/2022

Applicant / Owner

Applicant Name: Hunter Homes
 Address:
 City, State, Zip:
 Phone:
 Email:

Owner of Record Hunter Homes Inc
 Name:
 Address: PO Box 1418
 City: Eagle
 State: Idaho
 Zip: 83616
 Phone: 2085731040
 Email: hunterhomes8@gmail.com
 Invoice Email:

Owner of Record 2:
 Address:
 City:
 State:
 Zip:
 Phone:
 Email:
 Invoice Email:

Property

Site Address: 1021 Kaitlyn Loop
 Legal Desc.: Lot 31 of Block 2 of the Lick
 Creek Meadows Subdivision
 Zoning District: R4

Area: City Limits
 Sewer: Payette Lakes Recreational
 Water and Sewer
 Square Footage: 13056

Contractor

Contact Name: Steve Edwards
 Business Name:
 McCall License #:
 Mailing Address:

Email: hunterhomes8@gmail.com
 Phone: 2085731040
 Idaho #:

Annexation Information

Annex Request:
 Adjoining Land Use:
 Parcel Split:
 Parcel Adjoin:

Valley County:
 Conditional Use:
 Project Type: Residential
 Water: City Water
 Neighbor Meeting:

Description: Construction of a new single family residence along the Lick Creek Road Scenic Route.

Companion Applications

- | | | | |
|--------------------------------------|--------------------------|-----------------------------------|--------------------------|
| Record of Survey: | <input type="checkbox"/> | Subdivision (Final Plat): | <input type="checkbox"/> |
| Design Review: | <input type="checkbox"/> | Subdivision Minor Plat Amendment: | <input type="checkbox"/> |
| Scenic Route View: | <input type="checkbox"/> | Variance: | <input type="checkbox"/> |
| Shoreline and River Environs Review: | <input type="checkbox"/> | Rezone/Future Land/Comprehensive: | <input type="checkbox"/> |
| Conditional Use: | <input type="checkbox"/> | Zoning Code Amendment: | <input type="checkbox"/> |
| Development Agreement: | <input type="checkbox"/> | Annexation: | <input type="checkbox"/> |
| Planned Unit Develop (Prelim Plat): | <input type="checkbox"/> | Vacation: | <input type="checkbox"/> |
| Planned Unit Develop (Final Plat): | <input type="checkbox"/> | Land Use: | <input type="checkbox"/> |
| Subdivision (Prelim Plat): | <input type="checkbox"/> | | |

Details

- | | | | |
|---------------------|---|---------------------|--|
| Existing Cover: | | Res Parcels: | |
| Proposed Cover: | 0 | Comm Parcels: | |
| Open Space Sq.Ft.: | 0 | Engineer Name: | |
| # of Parking: | 0 | Engineer Email: | |
| Max Grade %: | 0 | Engineer Phone: | |
| Average Grade %: | 0 | Pre-App Date: | |
| Total Acreage: | 0 | Condominiums: | |
| Zoned Density: | 0 | Townhomes: | |
| Proposed Density: | 0 | PUD Name: | |
| Total Exist Lot: | 0 | Architect Name: | |
| Total Proposed Lot: | 0 | Architect Email: | |
| Min Lot Frontage: | 0 | Architect Phone: | |
| Min Lot Size: | 0 | Proposed Uses: | |
| Surveyor Name: | | Scenic Frontage: | |
| Surveyor Email: | | # of New Trees: | |
| Surveyor Phone: | | # of New Shrubs: | |
| Subdivision Name: | | Floodplain: | |
| Existing Parcels: | 0 | Shoreline Frontage: | |
| Proposed Parcels: | 0 | High Water Mark: | |

Sign

- Proposed color palette:
 Total signage area existing:
 Total signage area proposed:
 Length of street facing wall in linear feet:
 Length of property frontage in linear feet:
 If multiple frontages, please add lengths from street 2:
 Sign Company:
 Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

Talya Edwards

06/30/2022

Name

Date

216 East Park Street
McCall, Idaho 83638
P: (208) 634-7142
www.mccall.id.us/building
rsantiago-govier@mccall.id.us

APPLICATION CHECKLIST



BUILDING PERMIT APPLICATION CHECKLIST

NEW RESIDENCE IN CITY LIMITS

Application must include:

- Completed and Signed applications**
 - Building Permit Application
 - Permit Application Checklist
 - Project Information form
 - Construction Plan form
 - Public Works application - submitted to public works
 - Water Infrastructure Sizing Worksheet
 - Utility Contract
- Plan Review Fee** (cash, check, or credit card)
- Plans** - electronic PDF
 - Site plan:** proposed and existing structure footprints, lot lines, setbacks (as related to lot width and building element height), easements, water meter pit location, sewer tap location, significant trees (12"+) existing and to be removed, location of 2nd stage gas regulator (if propane will be used), topo lines (existing & proposed), driveway location and width, driveway slopes, culvert size, parking, walkways, decks, landscaping (3.8.13), lot coverage computation (refer to 3.03), and snow storage (3.8.15).
 - Footing and foundation plan/detail:** footing sizes, rebar, ventilation, etc.
 - Floor plan(s):** showing complete information: occupancy type, room use, egress, etc.
 - Wall bracing plan(s):** braced wall lines (shear walls), hold-downs, etc.
 - Elevations/wall sections:** include building heights prior to excavation, insulation, etc.
 - Roof & framing detail:** ridge/valley gable, bearing, headers, sheathing, waterproofing, roof type
 - Outdoor lighting plan:** (refer to MCC 3.14) (**provide lighting spec**)
 - Residential energy code check** (REScheck, LEED, or specifications on plans to meet code)
- Structural Calculations – Required for all applications.** Details and calculations for all load bearing footings, joists, beams, headers, rafters, braced walls (shear walls), etc.

Additional information may be required prior to issuance of a building permit: Sewer permit, Planning & Zoning process conditions of approval, etc.

I, the applicant, certify that I have submitted a complete set of plans including the above information.

Signature *St. Edwards*

Date 6-6-22

*1 Tree
3 Shrubs
Every 10 Linear Feet*

(building permit application continued)

ACKNOWLEDGMENTS:

Permit Number: _____

- Application, Plans, and associated documents must be submitted as PDFs.
- The US Environmental Protection Agency requires that renovation, repair, and painting projects that disturb lead-based paint in pre-1978 homes, childcare facilities, and schools must be performed by an EPA Certified Renovator working for an EPA Certified Firm and specific work practices must be implemented to prevent lead contamination. More information is available at 1-800-424-LEAD (5323) or <http://www2.epa.gov/lead>
- This application becomes null and void if not pursued in good faith within 180 days of submittal date.
- I certify that I have read and examined this application and all submittals and know the same to be true and correct. All provisions of laws and ordinances that govern this type of work will be complied with whether specified herein or not.
- Water connection fees are refundable within the first 180 days from the date of issuance and not refundable after 180 days for any circumstance. However, water connection fees paid ("credit") may be applied towards future water connection fees. This credit 'runs with the land' so it cannot be transferred to another property. The credit may be transferred from the existing property owner to a new property owner. The credit will be applied to the current water connection fees in effect at the time a new building permit is issued, and the new property owner will be responsible for paying the difference. Proof of payment is required for the water connection credit.

Signature 

Date 6-6-2022

FEES & APPROVALS:

Completed By City Staff

VALUATION OF WORK	Sub-Total	PLANNING DEPARTMENT	Yes
S/F Occupied Area @ \$250.00	\$	Application Number	
S/F (Upgrade of Above \$450/\$200)	\$	Conditions Required	
S/F Un-Occupied Area @ \$125.00	\$	Approved by Planning Manager	<input type="checkbox"/>
Value used to Calculate Fee Total	\$	PUBLIC WORKS DEPARTMENT	
FEES	Sub-Total	Water ERU Count	
(Due Now) Application/Plan Check	\$	Approved by Department	<input type="checkbox"/>
Building Permit Calculated	\$	BUILDING DEPARTMENT	
Water Capitalization Fee	\$	Submittal Information Complete	<input type="checkbox"/>
Water Hook-up Fee	\$	Planning Report Complete/Approved	<input type="checkbox"/>
Public Works Permit	\$	Plans Check Complete/Approved	<input type="checkbox"/>
FEE TOTAL	\$	Approved by Building Official	<input type="checkbox"/>

216 East Park Street
McCall, Idaho 83638
P: (208) 634-7142
rsantiago-govier@mccall.id.us

Building Permit APPLICATION



Submittal Date: 5-25-22

Permit Number: RPM05520020310

PROPERTY INFORMATION:

Site Address: 1021 Knitlyx Loop or Parcel #: RPM05520020310

Subdivision: Lick Creek Block: 312 Lot: 31

PROPERTY OWNER INFORMATION:

Owner's Name: Hunter Homes INC Phone: 208-573-1040

Mailing Address: P.O. Box 1418 Email: hunterhomes8@gmail.com

APPLICANT INFORMATION (IF DIFFERENT FROM PROPERTY OWNER):

Applicant's Name: X Phone: X

Mailing Address: X Email: X

CONTRACTOR/REPRESENTATIVE INFORMATION:

Contact Name: Steve Edwards Business Name: Hunter Homes INC

Email: hunterhomes8@gmail.com Phone: 208-573-1040 Idaho Contractor #: RCE 813

ARCHITECT, ENGINEER, OR DESIGNER INFORMATION:

Contact Name: Brendan Business Name: Drafttech

Email: admin@drafttechidaho.com Phone: 208-887-1751 License #: _____

PROJECT DETAILS: to be filled out by applicant

Project Narrative or Description: Build A New Single Family Home

Project Square Footage (to be constructed, added or remodeled):

Occupied/Finished 1617 + Unoccupied/Unfinished 189

Residential (circle applicable)				Commercial (circle applicable)			
<input checked="" type="radio"/> New	Addition	Remodel	Repair	New	Addition	Remodel	Repair
	Accessory Structure				Accessory Structure		

Unless Premium use \$250/sq ft Occupied and \$125/sq ft Unoccupied

Estimated Valuation of work to be done: 583,125

(building permit application continued)

PLEASE ANSWER ALL QUESTIONS: :

Permit Number: _____

Circle one

City Impact area

1. Where is the property located?

2. Is the project on a public city street?

If yes, please contact Public Works at 208-634-8945 to obtain PW permit if you are connecting to water, constructing a driveway, or working in the City Right of Way.

Yes No

3. Are you demoing a structure first?

If yes, and you are within the City Limits, submit the mandatory Demo Requirements Form with this application. Contact Payette Lakes Recreational Water and Sewer District 208-634-4111, if capping a sewer line.

Yes No

4. Are you drilling a well?

If yes, please contact the Idaho Department of Water Resources for a Drilling Permit 208-334-2190

Yes No

5. Are you currently on or putting in a septic system?

If yes, please contact Central District Health Department at 208-634-7194, to obtain a Septic Permit.

Yes No

6. Is the structure greater than 3,500 sq. ft.?

If yes, please obtain a Planning & Zoning Design Review application to submit for approval.

Yes No

✓ 7. Is the property on a Scenic Route?

If yes, please obtain a Planning & Zoning Scenic Route and Design Review application to submit for approval.

Yes No

8. Is the property in a Shoreline and River Environs Zone?

If yes, please obtain a Planning & Zoning Shoreline and Design Review application to submit for approval.

Yes No

9. Does the project have HOA or Design Review Committee Approval?

If yes, please provide documentation with your application.

Yes No

10. Does this project include an accessory structure over 1,500 square feet?

Yes No

Construction Plan

(This form can be used to meet the Construction Plan requirements of MCC 2.1.080(F). Applicants can also provide their own format.)

Job Address: 1021 Kaitlyn Loop Applicant: Hunter Homes, Inc.

MAINTENANCE DURING CONSTRUCTION:

Maintenance During Construction: A written construction plan shall be prepared and submitted for approval by the city for all construction projects within the city or the area of city impact. A more detailed plan may be required for larger projects as specified by the action of the commission. A developer and all contractors working at the site shall take care to maintain the construction site and access roads in a manner protective of the public and surrounding property owners or residents. The plan shall address the following elements:

1. Traffic Control Signing: The plan shall describe the traffic control signing required, if any.
2. Construction Sign: A four by four foot (4 x 4') sign shall be constructed at the main entrance or on the major frontage street of the development advising the public of the name of the development, the name and phone number of both the general contractor and developer, and a twenty four (24) hour emergency number. See Chapter 9, SIGNS of this Title.
3. Notification of Damage To Infrastructure: Within twenty four (24) hours of notification by the city, repair and protect damaged service lines to prevent inflow, sedimentation, or other damage to the city's infrastructure. Service shall not be left in a damaged condition until service is restored to the property under construction.
4. Repair of Streets: Within forty-eight (48) hours of notification by the city, potholes in asphalt or gravel streets shall be filled and compacted with like material.
5. Final Repairs and Cleaning: Within seventy-two (72) hours of notification by the city:
 - a. Cuts in asphalt shall be permanently patched and rolled. Temporary patches may be approved if requested in writing with a permanent patch date given.
 - b. Paved areas shall be cleaned to remove dirt, mud, gravel, concrete and all other debris.
 - c. Sediment and debris shall be removed from any temporary B.M.P., catch basin, valley drain, gutter, or sand and grease trap to prevent further flow into any receiving stream.
6. Erosion and Sedimentation Control Plan: As determined to be needed by the Building Official, submit an erosion and sedimentation control plan to the city for review two (2) weeks prior to the beginning of construction. The plan shall have addressed periodic maintenance and response to precipitation events. If precipitation events create a situation requiring mud or snow removal, the city shall review the project site to define appropriate measures and timelines for maintenance activities.
7. Hours of Operation: Building construction or site work shall be limited to the hours of six o'clock (6:00) A.M. to ten o'clock (10:00) P.M. If construction is within one thousand feet (1,000') of a residential area, equipment operation shall be limited to the hours of seven thirty o'clock (7:30) A.M. to ten o'clock (10:00) P.M., and auxiliary construction lighting shall be limited to one hour before sunrise and one hour after sunset, unless otherwise approved by the administrator. On Sunday, the hours of operation are limited to nine o'clock (9:00) A.M. to six o'clock (6:00) P.M. Hours of operation may be extended with the approval of the city depending on natural events or other concerns which may require continuous operation.
8. Use of the Public-right-of ways:
 - a. Public Works Permit Required: Pursuant to section 8-2-9 of the MCC, all use of the public right of way shall require a Public Works permit.
 - b. Parking: Construction vehicle parking may be restricted at construction sites so as to not block reasonable public and safety vehicle access along the street and sidewalks.
 - c. Storage On Public Streets: No equipment or materials shall be left, parked or stored in public rights of way without traffic control devices in place, including signage and flashing lights, in accordance with the manual on uniform traffic control devices, as amended. Equipment or materials which may impede traffic flow on a public right of way shall be removed or relocated within four (4) hours.
 - d. From November 1 through April 30, no vehicles shall park within the public right of way, except in designated on-street parking areas.

9. Deliveries:

- a. Deliveries of construction materials and supplies, including concrete, may be regulated as to time (hours of operation, but not to exceed the hours of subsection 7. of this section), and routing.
- b. Deliveries shall not obstruct public streets or unreasonably interfere with the flow of traffic.

10. Public Protection:

- a. The public shall be protected from construction hazards within and adjacent to the public right of way.
- b. Orange safety fencing or other fencing materials shall be installed and maintained to prevent inappropriate pedestrian traffic from access to adjacent construction activity and to prevent damage to adjacent vegetation.

11. Access:

- a. Access to private property shall be maintained. In the event that access must be cut off, notification shall be given to affected property owners forty-eight (48) hours in advance explaining the construction and the time access will be restored. Access shall be restored no later than four thirty o'clock (4:30) P.M. each night and shall remain open until eight thirty o'clock (8:30) A.M. each morning.
- b. For dead end streets, one (1) lane of access shall be continuously provided for emergency vehicles.

12. Grading and Excavation: Because of the truck hauling involved in grading and excavation, restrictions on trucking routes as well as the hours of operation may be necessary to mitigate the adverse impacts from such operations.

13. Control of Dust And Mud: Sediment control structures, basins, silt fences, catch basin filters and other items contained in EPA pollution prevention plans or in any sediment control plan shall be maintained at all times. A program for the control of dust or other airborne debris shall be required. Provisions must be made to prevent the tracking of mud onto streets, and it will be required to remove any such mud daily. Placing gravel on egress and ingress areas of sites is a method to control mud and dust problems.

14. Stockpiling and Staging: In order to reduce the number of delivery trips to construction sites, the stockpiling of materials is required, with consideration of the space available on the property for stockpiling.

15. Sanitary Facility: Approved and regularly serviced temporary sanitary facility(ies) adequate for the number of workers shall be in place for use by contractor personnel. The location shall be appropriate to the site and not on the public right of way.

16. Trash Management: Construction sites shall provide adequate storage and a program for regular trash removal. Construction bins are encouraged on sites with adequate room for separation of materials. Burning of scrap wood or other materials or burying construction debris on site is not permitted, except in an approved container and with a current burning permit, if required.

17. Temporary Lighting: An approved lighting plan must be obtained from the administrator if any exterior, temporary lighting is necessary for construction.

18. Dogs: Dogs are prohibited at active construction sites unless under the Owner's voice or leash control at all times.

19. Area Restoration: In the event that the developer, builder or their contractors fail to protect and clean streets or public ways, including adjacent private property as is necessary to provide safe, unimpeded access to the public, the city may directly provide equipment, staff, or hire an outside contractor to restore the area. The direct cost for all associated work, along with the costs for staff time, consultants, contractors and attorney fees, if any, shall be paid for by the developer.

20. Protection and Restoration: Obtain all required permits and provide protection to all intermittent watercourses or streams and wetlands and return any disturbed areas to their original state.

Acknowledged (Signed):  Comments:

216 East Park Street
McCall, Idaho 83638
P: (208) 634-7142
www.mccall.id.us/building
rsantiago-govier@mccall.id.us

APPLICATION

PROJECT INFORMATION



REQUIRED PROJECT INFORMATION

If you do not know an allowable amount, contact a building/planning staff member prior to submitting your application.

Allowable Lot Coverage

Lot Area in square feet: 13,050
Lot Coverage % Allowed: 28.26%
Lot Coverage Allowed: 3,690

Proposed Lot Coverage

Footprint of existing structures: X
Footprint of proposed structures: 11639 + 1489
Total Structure footprint: 13128 @ 100% of actual = 13128

Area of existing uncovered decks, Patios, walkways, plazas, etc. X

Area of new uncovered decks, Patios, walkways, plazas, etc. 392
Total decks, etc. area 80 @ 50% of actual = 236

Existing driveways, parking, etc. X
Proposed driveways, parking, etc. 000
Total driveway area 000 @ 35% of actual = 210

Total Proposed Lot Coverage:

2114

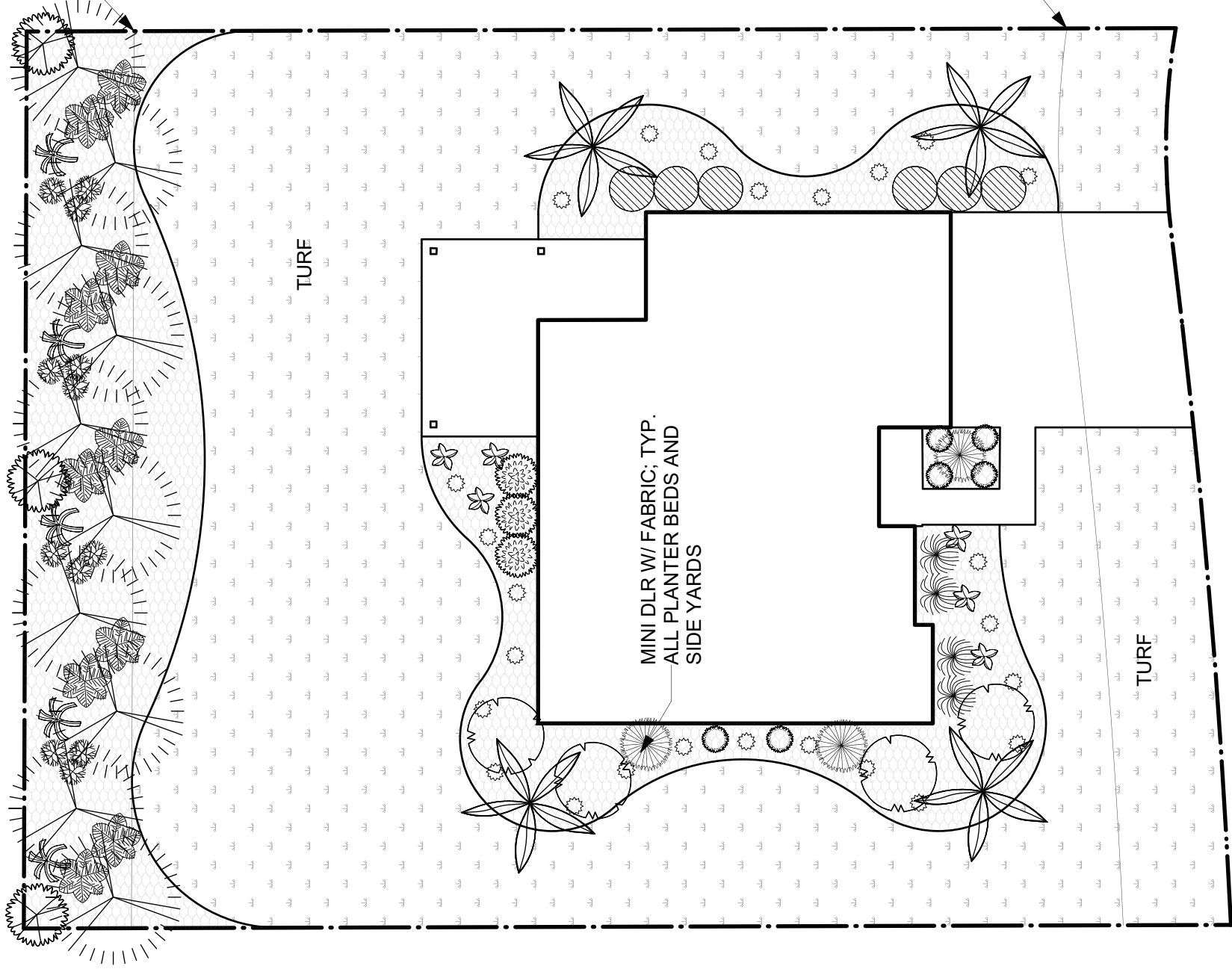
Proposed Building Size

Occupied space (existing) X
Unoccupied space (existing garage) +
Covered exterior space (existing) +

Occupied space (new) 1988
Unoccupied space (new garage) 1489
Covered exterior space (new) 392

Total Proposed Building Size: 3069
(If over 3500 sf, contact the City Planner's office for Design Review.)

EASEMENT; SNOW
REMOVAL, UTILITY, AND
LANDSCAPE

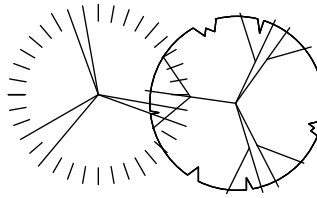


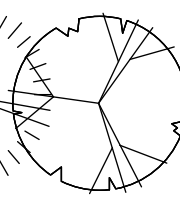












NOTES:


BERMING/FILL INSTALLED W/ ON-SITE AVAILABILITY OR THAT WHICH IS PROVIDED BY
BUILDER; OWNER TO COORDINATE

DUE TO LACK OF LOCAL/ SEASONAL AVAILABILITY;
PLANTS SHALL BE SUITABLY SUBSTITUTED
FOR THOSE ON PLAN

SPONTANEOUSLY; AVAILABLE ALTERNATIVES RESEARCHED AND CONFIRMED BY OWNER
DURING INITIAL REVIEW W/ BUILDER MAY BE UTILIZED IN THIS SCENARIO

- | | | | | | |
|---|----------------------------------|--|--------------------------------|---|----------------------------|
|  | ASPEN, QUAKING,
CLUMP, 2" B&B |  | CURRANT, GOLD, 2-5G |  | OCEANSPRAY, 2-5G |
|  | SERVICE BERRY,
CLUMP, 2" B&B |  | MOCKORANGE, 2-5G |  | MAHONIA,
CREEPING, 2-5G |
| | |  | HONEYSUCKLE
SHRUB, 2-5G |  | SNOWBERRY, 2-5G |
| | |  | ELDERBERRY,
BLACKLACE, 2-5G |  | APACHE PLUME, 2-5G |
| | |  | SPIREA, PINK, 2-5G |  | LAVENDER, 1G |
| | |  | SAGE, RUSSIAN, 2-5G |  | CATMINT, WALKER, 1G |

EASEMENT; UTILITY

31-2 LICK KAITLYN LOOP MCCALL HUNTER		NORTH	
DATE: 06.01.22	DRAWN BY: CTF	 POWER ENTERPRISES, INC. LANDSCAPING & IRRIGATION 16131 FRANKLIN BLVD Nampa, IDAHO 83887 208-461-4670	
REVISED: XX.XX.22	CHECKED BY: LDW		
SCALE: 1/16" = 1'			

June 27, 2022

Dear Hunter Homes,

We are pleased to approve the building and landscape plans you submitted to the Architectural Control Committee of Lick Creek Meadows for Lot #31, Block 2.

Thank you for your time and welcome to the neighborhood.

Cheers,

Amber Murrer
David Webster
Matt Anthony



524 CLEVELAND BLVD. #230
CALDWELL, IDAHO 83605
(208) 453-6512

Completed by: JDJ
Review/Check: KKJ

Project Name: 31/02 Lick Creek
SRE Project #: 2022-3461
City and State: Donnelly, Idaho

Structural Calculations

Project Title: 31/02 Lick Creek

Location: Donnelly, Idaho

Job #: 2022-3461



Prepared in accordance with 2018 IBC. Calculations expire by: 6/20/2023



524 CLEVELAND BLVD. #230
CALDWELL, IDAHO 83605
(208) 453-6512

Completed by: JDJ
Review/Check: KKJ

Project Name: 31/02 Lick Creek
SRE Project #: 2022-3461
City and State: Donnelly, Idaho

SITE SPECIFIC DESIGN CRITERIA:

Snow Criteria:

Roof Load (P_f)	120 psf	
Ground Load (P_g)	120 psf	
Exposure Factor (C_e)	1.0	Partially
Thermal Factor (C_t)	1.0	Typical
Importance (I_s)	1.0	

Wind Criteria:

Wind Speed (V_3)	115 mph	
Wind Exposure	C	Open Terrain
Wind Importance (I_w)	1.0	
Building Category	II	

Seismic Criteria:

Site Class	D	Stiff Soil
S_s	0.48	F_a 1.42
S_1	0.15	F_v 2.22
S_{D1}	0.45	S_{D1} 0.22
Risk Category	II	Other
Seismic Importance (I_E)	1.0	
Seismic Design Category (SDC)	D	

Seismic Criteria (continued):

Wall Material	Design Base Shear	Response Coeff., R	
OSB	.08Wp	6.5	Typ @ Ext
GYP	.27Wp	2	Typ @ Int
CANT COL	.36Wp	1.5	

Soil Criteria:

Brg. Strength	1500 psf
---------------	-----------------

STRUCTURE SPECIFIC DESIGN CRITERIA:

Live Loads:

Typ Residential	40 psf
Garage (P.V.)	50 psf
Sleeping Area's	30 psf

Roof Dead Loads:

Deck	1.5
Insulation	2.0
Roofing	3.0
Joist	2.5
Ceiling	3.0
Misc	4.5
TOTAL	17 psf

Exterior Wall Dead Loads:

Studs	2.0
Siding	2.5
Insulation	0.5
Gyp. Board	2.5
Sheathing	1.5
Misc	3.0
TOTAL	12 psf

Floor Dead Loads:

Deck	2.5
Joist	2.0
Ceiling	2.0
Flooring	2.5
Misc	3.0
TOTAL	12 psf

Interior Wall Dead Loads:

Studs	2.0
Gyp. Board	2.5
Misc	3.0
TOTAL	8 psf

Deck Dead Load

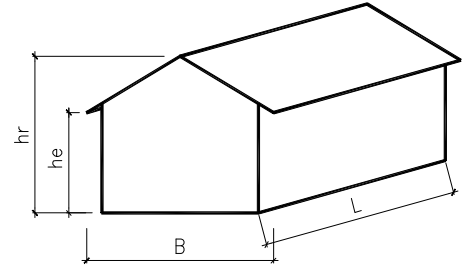
Decking	4.4
Joist	2.0
	0.0
Misc	3.0
TOTAL	10 psf



WIND ANALYSIS: Low-rise Building - Based on IBC / ASCE 7

INPUT DATA

Exposure category (B, C or D, ASCE 7-16 26.7.3)		C			
Importance factor (ASCE 7-16 Table 1.5-2)	$I_w =$	1.00	for all Category		
Basic wind speed (ASCE 7-16 26.5.1 or 2018 IBC)	$V =$	115	mph		
Topographic factor (ASCE 7-16 26.8 & Table 26.8-1)	$K_{zt} =$	1.00	Flat		
Building height to ridge	$h_r =$	19.75	ft		
Building height to eave	$h_e =$	9.00	ft		
Building width	$B =$	57.00	ft		
Building length	$L =$	46.00	ft		
Overhang sloped width	$O_h =$	3.00	ft		
Effective area of components (or Solar Panel area)	$A =$	27.0	ft ² , <== Overhang? (Yes or No):	Yes	
Enclosed? (Y/N)		y			



ANALYSIS

Velocity pressure

$$q_h = 0.00256 K_z K_{zt} K_d K_e V^2 = 24.43 \text{ psf}$$

where: q_h = velocity pressure at mean roof height, h. (Eq. 26.10-1 page 268)

K_z = velocity pressure exposure coefficient evaluated at height, h, (Tab. 26.10-1, pg 268) = **0.85**

K_d = wind directionality factor. (Tab. 26.6-1, for building, page 266) = **0.85**

h = mean roof height = **14.38 ft**

K_e = ground elevation factor. (**1.0** per Sec. 26.9, page 268) **< 60 ft, [Satisfactory]** (ASCE 7-16 26.2.1)

< Min (L, B), [Satisfactory] (ASCE 7-16 26.2.2)

Design pressures for MWFRS

$$p = q_h [(G C_{pf}) - (G C_{pi})]$$

where: p = pressure in appropriate zone. (Eq. 28.3-1, page 311).

$p_{min} = 16 \text{ psf}$ (ASCE 7-16 28.3.4)

$G C_{pf}$ = product of gust effect factor and external pressure coefficient, see table below. (Fig. 28.3-1, page 312 & 313)

$G C_{pi}$ = product of gust effect factor and internal pressure coefficient. (Tab. 26.13-1, Enclosed Building, page 271)

= **0.18** or **-0.18**

a = width of edge strips, Fig 28.3-1, page 312, $MAX[MIN(0.1B, 0.1L, 0.4h), MIN(0.04B, 0.04L), 3] = 4.60 \text{ ft}$

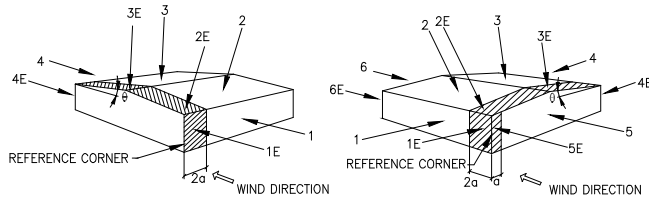
Net Pressures (psf), Basic Load Cases

Surface	Roof angle $q = 30.26$			Roof angle $q = 30.26$		
	$G C_{pf}$	Net Press. W/		$G C_{pf}$	Net Press. W/	
		(+ $G C_{pi}$)	(- $G C_{pi}$)		(+ $G C_{pi}$)	(- $G C_{pi}$)
1	0.56	9.28	18.08	-0.45	-15.39	-6.60
2	0.21	0.73	9.53	-0.69	-21.25	-12.46
3	-0.43	-14.90	-6.11	-0.37	-13.44	-4.64
4	-0.37	-13.44	-4.64	-0.45	-15.39	-6.60
5				0.40	5.37	14.17
6				-0.29	-11.48	-2.69
1E	0.69	12.46	21.25	-0.48	-16.12	-7.33
2E	0.27	2.20	10.99	-1.07	-30.54	-21.74
3E	-0.53	-17.34	-8.55	-0.53	-17.34	-8.55
4E	-0.48	-16.12	-7.33	-0.48	-16.12	-7.33
5E				0.61	10.50	19.30
6E				-0.43	-14.90	-6.11

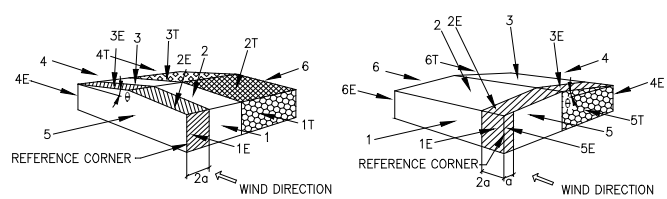
Net Pressures (psf), Torsional Load Cases

Surface	Roof angle $q = 30.26$		
	$G C_{pf}$	Net Press. W/	
		(+ $G C_{pi}$)	(- $G C_{pi}$)
1T	0.56	2.32	4.52
2T	0.21	0.18	2.38
3T	-0.43	-3.73	-1.53
4T	0.00	-3.36	-1.16
Surface	Roof angle $q = 0.00$		
	$G C_{pf}$	Net Press. W/	
		(+ $G C_{pi}$)	(- $G C_{pi}$)
5T	0.40	1.34	3.54
6T	-0.29	-2.87	-0.67

+ / - Wind Pressure 59%



Load Case A (Transverse) Load Case B (Longitudinal)
Basic Load Cases



Load Case A (Transverse) Load Case B (Longitudinal)
Torsional Load Cases

Design pressures for components and cladding

$$p = q_h [(G C_p) - (G C_{pi})]$$

where: p = pressure on component. (Eq. 30.3-1, pg 33)

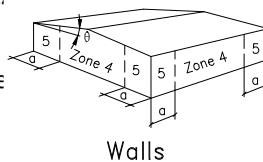
$$p_{min} = 16.00 \text{ psf (ASCE 7-16 30.2.2)}$$

$G C_p = 1.00$ external pressure coefficient
see table below. (ASCE 7-16 30.3.2)

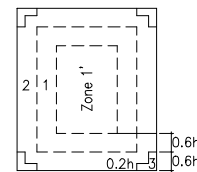
$$q = 30.26 \text{ }^\circ$$

$$p_{overhang} = -84.28 \text{ psf}$$

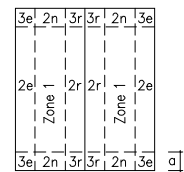
(ASCE 7-16 28.3.3)



Walls



Roof $\theta \leq 7^\circ$



Roof $\theta > 7^\circ$

Comp. & Cladding Coeffs.	Effective Area (ft ²)	Zone 1		Zone 1'		Zone 2		Zone 2e		Zone 2n		Zone 2r	
		GC _p	-GC _p	GC _p	-GC _p	GC _p	-GC _p	GC _p	-GC _p	GC _p	-GC _p	GC _p	-GC _p
	1083	0.30	-0.80	0.30	-0.80	0.30	-1.80	0.30	-0.80	0.30	-1.00	0.30	-1.00
Effective Area (ft ²)	Zone 3		Zone 3e		Zone 3r		Zone 4		Zone 5				
	GC _p	-GC _p	GC _p	-GC _p	GC _p	-GC _p	GC _p	-GC _p	GC _p	-GC _p	GC _p	-GC _p	
27	0.30	-1.80	0.30	-1.80	0.30	-1.80	0.99	-1.09	0.99	-1.38			

Comp. & Cladding Pressures	Zone 1		Zone 1'		Zone 2		Zone 2e		Zone 2n		Zone 2r	
	Positive	Negative	Positive	Negative	Positive	Negative	Positive	Negative	Positive	Negative	Positive	Negative
	2.93	-15.15	2.93	-15.15	2.93	-39.57	2.93	-15.15	2.93	-20.03	2.93	-20.03
	Zone 3		Zone 3e		Zone 3r		Zone 4		Zone 5			
Positive	Negative	Positive	Negative	Positive	Negative	Positive	Negative	Positive	Negative	(Max Pressure 39.57 psf)		
2.93	-39.57	2.93	-39.57	2.93	-39.57	19.78	-22.22	19.78	-29.29			

LOAD CASE 'A' FACTORED LOADS	
$0.6 * W_r = (Z_2 + Z_3) * 0.6 =$	9.4 psf
$0.6 * W_{rE} = (Z_{2E} + Z_{3E}) * 0.6 =$	11.7 psf
$0.6 * W_w = (Z_1 + Z_4) * 0.6 =$	13.6 psf
$0.6 * W_{wE} = (Z_{1E} + Z_{4E}) * 0.6 =$	17.1 psf

LOAD CASE 'B' FACTORED LOADS	
$0.6 * W_r = (Z_2 + Z_3) * 0.6 =$	4.7 psf
$0.6 * W_{rE} = (Z_{2E} + Z_{3E}) * 0.6 =$	7.9 psf
$0.6 * W_w = (Z_5 + Z_6) * 0.6 =$	10.1 psf
$0.6 * W_{wE} = (Z_{5E} + Z_{6E}) * 0.6 =$	15.2 psf

ROOF COMPONENTS FACTORED LOAD	
$0.6 * Z_{r,c\&c} =$	12.0 psf

WALL COMPONENTS FACTORED LOAD	
$0.6 * Z_{w,c\&c} =$	13.3 psf



OSB SEISMIC LOADING ANALYSIS

IBC / ASCE 7: Equivalent Lateral Force (ELF) Procedure:

INPUT DATA

Typical floor height: $h = 9$ ft
 Typical floor weight: $w_x = 44.6$ kips
 Number of floors: $n = 1$
 Importance factor (ASCE 11.5.1): $I_e = 1.00$
 Design spectral response: $S_{DS} = 0.45$ g
 $S_{D1} = 0.22$ g
 Mapped spectral resp.: $S_1 = 0.15$ g
 Period Parameter, C_t :
 (ASCE Tab 12.8-2): $C_t = 0.020$
 Resp. coefficient: (ASCE
 Tab. 12.2.1): $R = 6.5$
 Seismic design category: SDC = D
 $h_n = 19.8$ ft

DESIGN SUMMARY

$C_s = 1.2 * S_{DS} / (R / I_e) = 0.0833$ <= Applicable
 Period Parameter, $x = 0.75$, ASCE Tab 12.8-2
 Period: $T_a = C_t (h_n)^x = 0.19$ sec, ASCE 12.8.2.1
 $C_s < S_{D1} / [(R / I_e) T_a] = 0.1773$, ASCE Tab 12.8.1.1 <= Not Applicable
 $C_s > 0.044 S_{DS} I_e = 0.0199$, ASCE Tab 12.8.1.1 <= Not Applicable
 $C_s > 0.5 S_1 / (R / I_e) = 0.0112$, ASCE Tab 12.8.1.1 <= Not Applicable
 $k = 1.46$, (ASCE 12.8.3, page 91)
 $V = C_s W = 0.0833$ W
 $0.7 * V = 0.0583$ W
 $W = 45$ kips, total

SEISMIC COMPONENT & ANCHORING ANALYSIS

Out-of-plane seismic force for wall design (ASCE 7, Sec.12.11.1)

$$w_{1, seismic} = MAX(0.4 I S_{DS} W_p, 0.1 W_p) = 0.2 W_p = 0.2 \text{ psf} \quad \leq \text{USE FOR DIAPHRAGMS}$$

Where: $W_p = 1.0$ psf, $I_e = 1.00$
 (CBC / IBC Tab. 1604.5 & ASCE 7 Tab. 1.5-2)

Out-of-plane seismic force for anchorage design

For seismic design category A & B, any diaphragm (ASCE 7 Sec. 12.11.2)

$$F_{anch, seismic} = MAX \left[0.4 S_{DS} I W_p \frac{(h+h_p)^2}{2h}, 0.1 W_p \frac{(h+h_p)^2}{2h}, 400 S_{DS} I, F_{min} \right] =$$

Where: $F_{min} = 0.13$ plf, $1.69 W_p = 180$ plf (Horizontal) <= Not Applicable
 (ASCE 7 Sec. 12.11.2 & 11.7.3)

For seismic design category C and above, flexible diaphragm (ASCE 7 Sec. 12.11.2.1)

$$F_{anch, seismic} = MAX \left[0.8 S_{DS} I W_p \frac{(h+h_p)^2}{2h}, 0.1 W_p \frac{(h+h_p)^2}{2h}, 400 S_{DS} I, F_{min} \right] =$$

= 3.39 $W_p = 180$ plf (Horizontal) <= Applicable

For connections (ASCE 7 Sec. 12.11.2.1)

$$F_{conn, seismic} = MAX [0.133 S_{DS} w_p, 0.5 w_p] = 0.5 W_p = 0.5 \text{ plf (Horizontal)}$$



524 CLEVELAND BLVD. #230
 CALDWELL, IDAHO 83605
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Completed by: JDJ
 Review/Check: KKJ

Project Name: 31/02 Lick Creek
 SRE Project #: 2022-3461
 City and State: Donnelly, Idaho

WIND / SEISMIC SHEAR FORCE CALCULATIONS:

From ASCE 7-16 Wind & Seismic Loading Analysis

Wall Line	Roof / Floor						Wall					Load above		*C _s (W/p)	=	Loading		
	Wind Force (psf)	Diaph. Weight	Wr, We truss trib (ft)	Area W (ft)	Area L (ft)	Wind Force (psf)	Wall DL (psf)	Wall ht (ft)	wall line dist (ft)	Upr. Flr Wall ht (ft)	Wind (#)	Seismic (#)	Wind Force (kips)			Seismic Force (kips)	Lateral Control	
X1-1	9.6	47	10.8	46.0	45.0	14.3	12.0	9.0	46.0				0.06	=	3.86	3.13	Wind	
X2-1	9.6	47	10.8	46.0	57.0	14.3	12.0	9.0	46.0				0.06	=	3.86	3.88	Seismic	
X3-1	9.6	47	10.8	34.0	30.2	14.6	12.0	9.0	34.0				0.06	=	1.70	0.96	Wind	
Y1-1	9.6	47	10.8	45.0	46.0	14.4	12.0	9.0	45.0				0.06	=	3.77	3.12	Wind	
Y2-1	9.6	47	10.8	45.0	46.0	14.4	12.0	9.0	45.0				0.06	=	2.86	2.34	Wind	
Y3-1	9.6	47	10.8	24.0	46.0	15.0	12.0	9.0	24.0				0.06	=	2.05	1.66	Wind	
Y4-1	9.6	47	10.8	24.0	20.5	15.0	12.0	9.0	24.0				0.06	=	2.86	1.16	Wind	
	9.6	47	10.8	33.0	20.5	14.6	12.0	9.0	33.0				0.06	=				



524 CLEVELAND BLVD. #230
 CALDWELL, IDAHO 83605
 (208) 453-6512

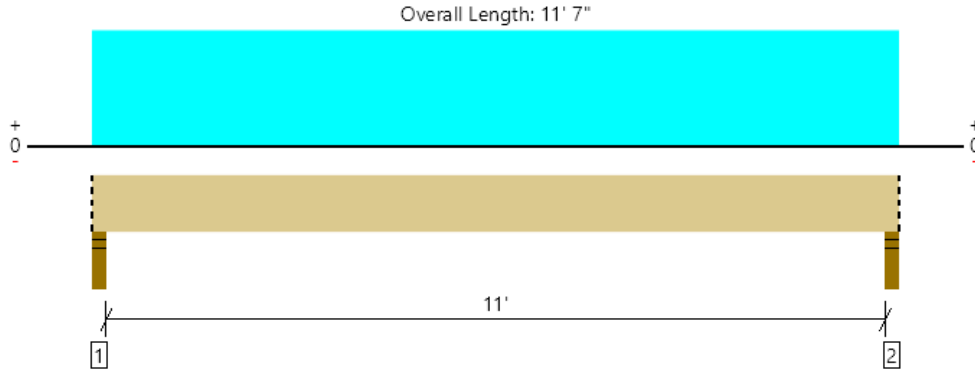
Completed by: JDJ
 Review/Check: KKJ

Project Name: 31/02 Lick Creek
 SRE Project #: 2022-3461
 City and State: Donnelly, Idaho

SHEAR WALL CALCULATIONS:

		Y2-1	Y3-1	Y4-1			
Shear Wall Forces							
Total length of wall		20.54 ft	34.00 ft	24.46 ft			
Total length of shear wall	L =	20.54 ft	34.00 ft	14.75 ft			
Total length of full ht seg.	L _w =	15.58 ft	12.00 ft	14.25 ft			
height of shear wall	H =	9.00 ft	9.00 ft	9.00 ft			
Maximum opening height	H' =	1.50 ft	0.00 ft	0.00 ft			
Total force at top of wall	V ₁ =	2859 lbs	2047 lbs	2859 lbs			
Self weight	W _{DL self} =	108 plf	108 plf	108 plf			
Applied dead load	W _{DL above} =	40 plf	40 plf	311 plf			
Prefered OSB thickness	in	7/16	7/16	7/16			
Prefered Gyp thickness	in	1/2	1/2	1/2			
Wall Connected to Concrete	y/n =	Y	Y	Y			
Shear Wall Segments							
		2.67	4.00	8.00			
		3.83	4.00	6.25			
		9.08	4.00				
Shear Transfer to Concrete							
	T =	451 lbs	Not Req'd	Not Req'd			
1/2 Anchor Bolts @		72" O.C.	72" O.C.	72" O.C.			
Provide:		Code Min.	Code Min.	Code Min.			
Min # of 1/2 Anchor Bolts		(3) Min	(2) Min	(3) Min			
Load From Above		0.00	0.00	0.00			
Holddown		Perp. Wall					
Shear Resisting System							
Force Calculated		183.49	170.61	200.66			
		OSB	OSB	OSB			
Min Shear Wall Segment:		2.57 ft	2.57 ft	2.57 ft			
Provide:	V _a =	SW1	SW1	SW1			
Min Shear Wall Segment:							
Provide:	V _a =						
Blocking / Nailing Framing Attachment							
Blocking Unit Shear		139 plf	60 plf	117 plf			
Blocking		NONE	NONE	NONE			
Nailing		See SCHED	See SCHED	See SCHED			
Unit Base Shear							
% of full height segments	%fh = L _w /L =	0.759	0.353	0.966			
% of maximum opening height	%oh = H'/H =	0.167	0.000	0.000			
Shear cap adj factor	SCAF =	1.00	1.00	1.00			
Unit base shear	v _{base} V ₁ /L _w =	183 plf	171 plf	201 plf			
Effective unit base shear	v _{req} = v _{base} /SCAF =	183 plf	171 plf	201 plf			
Ovrtrn. mo. Ttl. length of wall	OTM =	25.7 k-ft	18.4 k-ft	25.7 k-ft			
Shear wall adjustment factor							
Resist moment total L. of wall	RM =	31.2 k-ft	85.4 k-ft	45.6 k-ft			
	r =	0.9497	0.9998	1.0000			
	C _o =	1.1372	2.8316	1.0351			

Roof, RB1
1 piece(s) 6 x 12 DF No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	3267 @ 2"	12031 (3.50")	Passed (27%)	--	1.0 D + 1.0 S (All Spans)
Shear (lbs)	2562 @ 1' 3"	8244	Passed (31%)	1.15	1.0 D + 1.0 S (All Spans)
Moment (Ft-lbs)	8923 @ 5' 9 1/2"	10166	Passed (88%)	1.15	1.0 D + 1.0 S (All Spans)
Live Load Defl. (in)	0.191 @ 5' 9 1/2"	0.563	Passed (L/707)	--	1.0 D + 1.0 S (All Spans)
Total Load Defl. (in)	0.224 @ 5' 9 1/2"	0.750	Passed (L/602)	--	1.0 D + 1.0 S (All Spans)

System : Roof
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2018
Design Methodology : ASD
Member Pitch : 0/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Lumber grading provisions must be extended over the length of the member per NDS 4.2.5.5.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Snow	Total	
1 - Stud wall - DF	3.50"	3.50"	1.50"	487	2780	3267	Blocking
2 - Stud wall - DF	3.50"	3.50"	1.50"	487	2780	3267	Blocking

- Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	11' 7" o/c	
Bottom Edge (Lu)	11' 7" o/c	

- Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 11' 7"	N/A	16.0	--	
1 - Uniform (PSF)	0 to 11' 7" (Top)	4'	17.0	120.0	Default Load

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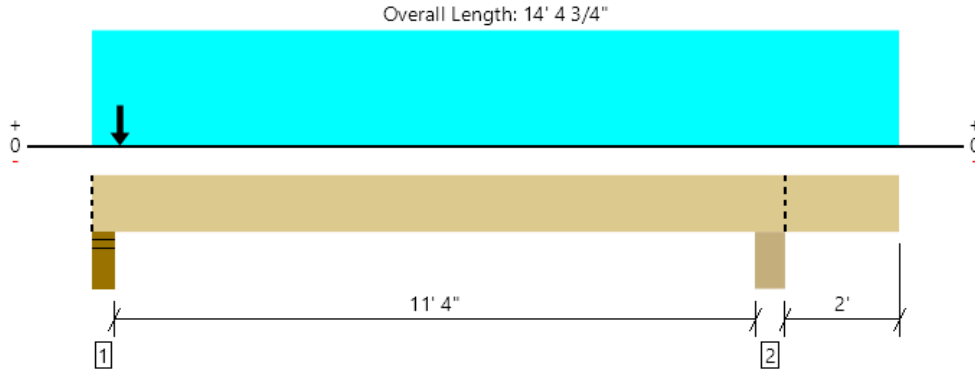
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The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Jed Jones 06/20/22 Snake River Engineering (208) 453-6512 jed@snakeriverengineering.com	



Roof, RB2
1 piece(s) 5 1/8" x 12" 24F-V4 DF Glulam



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	13933 @ 4"	17617 (5.50")	Passed (79%)	--	1.0 D + 1.0 S (Alt Spans)
Shear (lbs)	8024 @ 10' 9 1/2"	12495	Passed (64%)	1.15	1.0 D + 1.0 S (All Spans)
Pos Moment (Ft-lbs)	27782 @ 6' 5/8"	28290	Passed (98%)	1.15	1.0 D + 1.0 S (Alt Spans)
Neg Moment (Ft-lbs)	-4396 @ 6' 1 1/8"	21807	Passed (20%)	1.15	1.0 D + 1.0 S (All Spans)
Live Load Defl. (in)	0.451 @ 6' 2"	0.588	Passed (L/313)	--	1.0 D + 1.0 S (Alt Spans)
Total Load Defl. (in)	0.517 @ 6' 1 15/16"	0.784	Passed (L/273)	--	1.0 D + 1.0 S (Alt Spans)

System : Roof
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2018
Design Methodology : ASD
Member Pitch : 0/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Overhang deflection criteria: LL (2L/240) and TL (2L/180). Upward deflection on right cantilever exceeds overhang deflection criteria.
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Critical positive moment adjusted by a volume factor of 1.00 that was calculated using length L = 11' 6 1/16".
- Critical negative moment adjusted by a volume factor of 1.00 that was calculated using length L = 2' 9".
- The effects of positive or negative camber have not been accounted for when calculating deflection.
- The specified glulam is assumed to have its strong laminations at the bottom of the beam. Install with proper side up as indicated by the manufacturer.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Snow	Total	
1 - Stud wall - DF	5.50"	5.50"	4.35"	1878	12055	13933	Blocking
2 - Column - DF	7.25"	7.25"	4.20"	1849	12154	14003	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	10' 9" o/c	
Bottom Edge (Lu)	14' 5" o/c	

•Maximum allowable bracing intervals based on applied load.

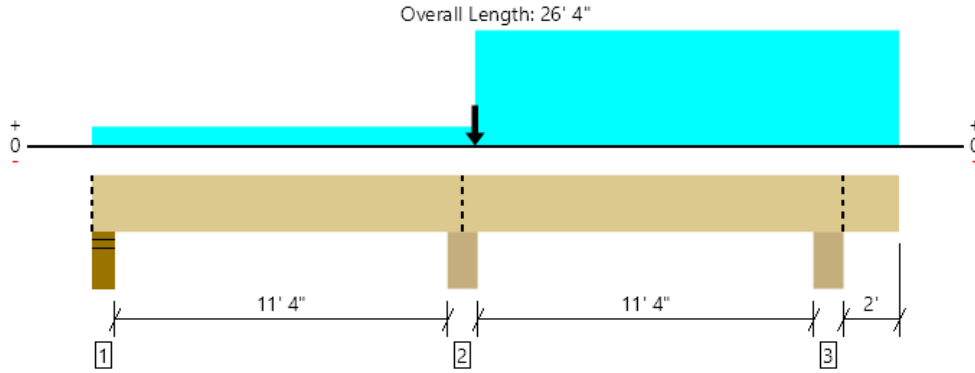
Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 14' 4 3/4"	N/A	14.9	--	
1 - Uniform (PSF)	0 to 14' 4 3/4" (Top)	12'	17.0	120.0	Default Load
2 - Point (lb)	6" (Top)	N/A	575	3317	Linked from: Girder 4, Support 1

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The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Jed Jones 06/20/22 Snake River Engineering (208) 453-6512 jed@snakeriverengineering.com	



Roof, RB3
1 piece(s) 5 1/8" x 12" 24F-V4 DF Glulam



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	20932 @ 12' 1 1/8"	24152 (7.25")	Passed (87%)	--	1.0 D + 1.0 S (Adj Spans)
Shear (lbs)	9569 @ 13' 4 3/4"	12495	Passed (77%)	1.15	1.0 D + 1.0 S (Adj Spans)
Pos Moment (Ft-lbs)	21486 @ 18' 7 7/8"	28290	Passed (76%)	1.15	1.0 D + 1.0 S (Alt Spans)
Neg Moment (Ft-lbs)	-18098 @ 12' 1 1/8"	21807	Passed (83%)	1.15	1.0 D + 1.0 S (Adj Spans)
Live Load Defl. (in)	0.333 @ 18' 3 15/16"	0.597	Passed (L/430)	--	1.0 D + 1.0 S (Alt Spans)
Total Load Defl. (in)	0.378 @ 18' 3 15/16"	0.796	Passed (L/379)	--	1.0 D + 1.0 S (Alt Spans)

System : Roof
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2018
Design Methodology : ASD
Member Pitch : 0/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Overhang deflection criteria: LL (2L/240) and TL (2L/180).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Critical positive moment adjusted by a volume factor of 1.00 that was calculated using length L = 10' 2 1/8".
- Critical negative moment adjusted by a volume factor of 1.00 that was calculated using length L = 12' 2 3/4".
- -402 lbs uplift at support located at 4". Strapping or other restraint may be required.
- The effects of positive or negative camber have not been accounted for when calculating deflection.
- The specified glulam is assumed to have its strong laminations at the bottom of the beam. Install with proper side up as indicated by the manufacturer.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Snow	Total	
1 - Stud wall - DF	5.50"	5.50"	1.50"	98	799/-499	897/-499	Blocking
2 - Column - DF	7.25"	7.25"	6.28"	2850	18082	20932	Blocking
3 - Column - DF	7.25"	7.25"	3.88"	1689	11249	12938	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	26' 4" o/c	
Bottom Edge (Lu)	26' 4" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 26' 4"	N/A	14.9	--	
1 - Uniform (PSF)	0 to 12' 6" (Top)	2'	17.0	120.0	Default Load
2 - Uniform (PSF)	12' 6" to 26' 4" (Top)	12'	17.0	120.0	Default Load
3 - Point (lb)	12' 6" (Top)	N/A	996	6283	Linked from: Girder 4, Support 2

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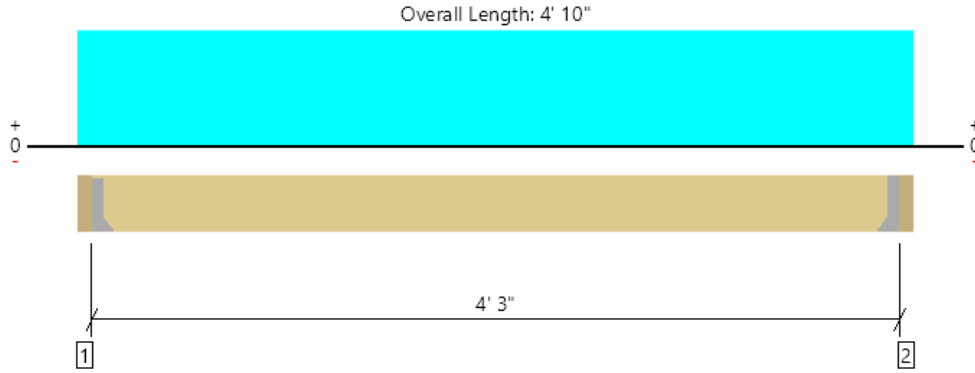
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ForteWEB Software Operator	Job Notes
Jed Jones 06/20/22 Snake River Engineering (208) 453-6512 jed@snakeriverengineering.com	



Attic, AB1
2 piece(s) 2 x 8 DF No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	730 @ 3 1/2"	2813 (1.50")	Passed (26%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	522 @ 10 3/4"	2610	Passed (20%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	776 @ 2' 5"	2365	Passed (33%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.013 @ 2' 5"	0.106	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.017 @ 2' 5"	0.213	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)

System : Floor
Member Type : Flush Beam
Building Use : Residential
Building Code : IBC 2018
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Hanger on 7 1/4" DF beam	3.50"	Hanger ¹	1.50"	200	628	828	See note ¹
2 - Hanger on 7 1/4" DF beam	3.50"	Hanger ¹	1.50"	200	628	828	See note ¹

- At hanger supports, the Total Bearing dimension is equal to the width of the material that is supporting the hanger
- ¹ See Connector grid below for additional information and/or requirements.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	4' 3" o/c	
Bottom Edge (Lu)	4' 3" o/c	

- Maximum allowable bracing intervals based on applied load.

Connector: Simpson Strong-Tie						
Support	Model	Seat Length	Top Fasteners	Face Fasteners	Member Fasteners	Accessories
1 - Face Mount Hanger	LUS26-2	2.00"	N/A	4-10dx1.5	4-10d	
2 - Face Mount Hanger	LUS26-2	2.00"	N/A	4-10dx1.5	4-10d	

- Refer to manufacturer notes and instructions for proper installation and use of all connectors.

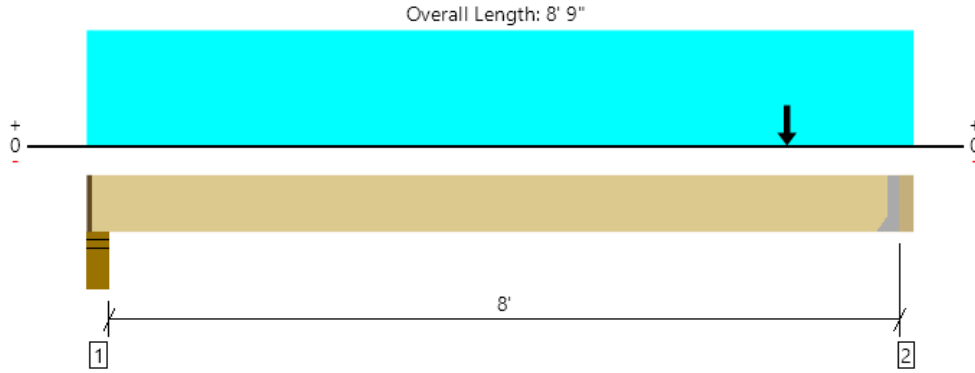
Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PLF)	3 1/2" to 4' 6 1/2"	N/A	5.5	--	
1 - Uniform (PSF)	0 to 4' 10" (Front)	6' 6"	12.0	40.0	Default Load

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Attic, AB2
3 piece(s) 2 x 10 DF No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	2768 @ 8' 5 1/2"	4219 (1.50")	Passed (66%)	--	1.0 D + 1.0 S (All Spans)
Shear (lbs)	2336 @ 7' 8 1/4"	5744	Passed (41%)	1.15	1.0 D + 0.75 L + 0.75 S (All Spans)
Moment (Ft-lbs)	5386 @ 4' 5 1/4"	6088	Passed (88%)	1.15	1.0 D + 1.0 S (All Spans)
Live Load Defl. (in)	0.112 @ 4' 4 7/8"	0.203	Passed (L/874)	--	1.0 D + 1.0 S (All Spans)
Total Load Defl. (in)	0.135 @ 4' 5"	0.406	Passed (L/721)	--	1.0 D + 1.0 S (All Spans)

System : Floor
Member Type : Flush Beam
Building Use : Residential
Building Code : IBC 2018
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Floor Live	Snow	Total	
1 - Stud wall - DF	5.50"	4.25"	1.50"	462	263	2374	3099	1 1/4" Rim Board
2 - Hanger on 9 1/4" DF beam	3.50"	Hanger ¹	1.50"	600	715	2351	3666	See note ¹

- Rim Board is assumed to carry all loads applied directly above it, bypassing the member being designed.
- At hanger supports, the Total Bearing dimension is equal to the width of the material that is supporting the hanger
- ¹ See Connector grid below for additional information and/or requirements.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	8' 4" o/c	
Bottom Edge (Lu)	8' 4" o/c	

- Maximum allowable bracing intervals based on applied load.

Connector: Simpson Strong-Tie						
Support	Model	Seat Length	Top Fasteners	Face Fasteners	Member Fasteners	Accessories
2 - Face Mount Hanger	HU210-3	2.50"	N/A	18-16d	10-10d	

- Refer to manufacturer notes and instructions for proper installation and use of all connectors.

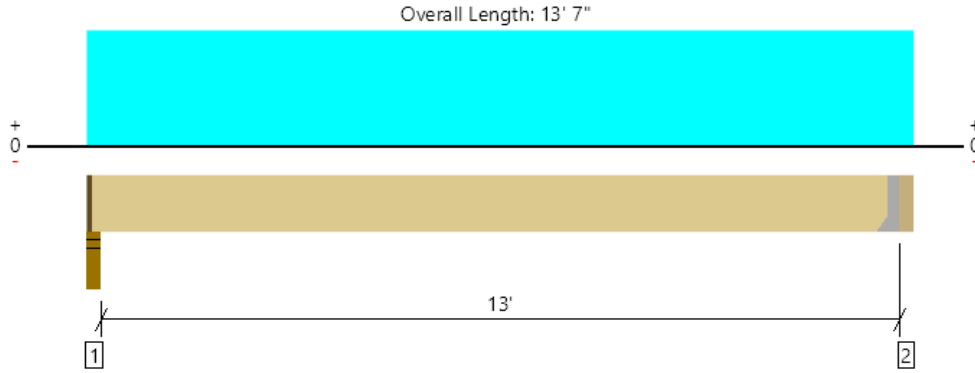
Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Snow (1.15)	Comments
0 - Self Weight (PLF)	1 1/4" to 8' 5 1/2"	N/A	10.6	--	--	
1 - Uniform (PSF)	0 to 8' 9" (Front)	1'	12.0	40.0	-	Default Load
2 - Uniform (PSF)	0 to 8' 9" (Back)	4' 6"	17.0	-	120.0	Snow
3 - Point (lb)	7' 4" (Front)	N/A	200	628	-	Linked from: AB1, Support 2

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ForteWEB Software Operator	Job Notes
Jed Jones 06/20/22 Snake River Engineering (208) 453-6512 jed@snakeriverengineering.com	



Attic, Bonus Joist
1 piece(s) 2 x 10 DF No.2 @ 16" OC



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	454 @ 13' 3 1/2"	1406 (1.50")	Passed (32%)	--	1.0 D + 1.0 L (All Spans)
Shear (lbs)	400 @ 12' 6 1/4"	1665	Passed (24%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	1484 @ 6' 9"	2029	Passed (73%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.222 @ 6' 9"	0.327	Passed (L/707)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.289 @ 6' 9"	0.654	Passed (L/544)	--	1.0 D + 1.0 L (All Spans)
TJ-Pro™ Rating	N/A	N/A	N/A	--	N/A

System : Floor
Member Type : Joist
Building Use : Residential
Building Code : IBC 2018
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- A 15% increase in the moment capacity has been added to account for repetitive member usage.
- Applicable calculations are based on NDS.
- No composite action between deck and joist was considered in analysis.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Stud wall - DF	3.50"	2.25"	1.50"	108	360	468	1 1/4" Rim Board
2 - Hanger on 9 1/4" DF beam	3.50"	Hanger ¹	1.50"	109	364	473	See note ¹

- Rim Board is assumed to carry all loads applied directly above it, bypassing the member being designed.
- At hanger supports, the Total Bearing dimension is equal to the width of the material that is supporting the hanger
- ¹ See Connector grid below for additional information and/or requirements.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	7' 9" o/c	
Bottom Edge (Lu)	13' 2" o/c	

- Maximum allowable bracing intervals based on applied load.

Connector: Simpson Strong-Tie							
Support	Model	Seat Length	Top Fasteners	Face Fasteners	Member Fasteners	Accessories	
2 - Face Mount Hanger	LU210	1.50"	N/A	10-10dx1.5	6-10dx1.5		

- Refer to manufacturer notes and instructions for proper installation and use of all connectors.

Vertical Load	Location (Side)	Spacing	Dead (0.90)	Floor Live (1.00)	Comments
1 - Uniform (PSF)	0 to 13' 7"	16"	12.0	40.0	Default Load

Weyerhaeuser Notes

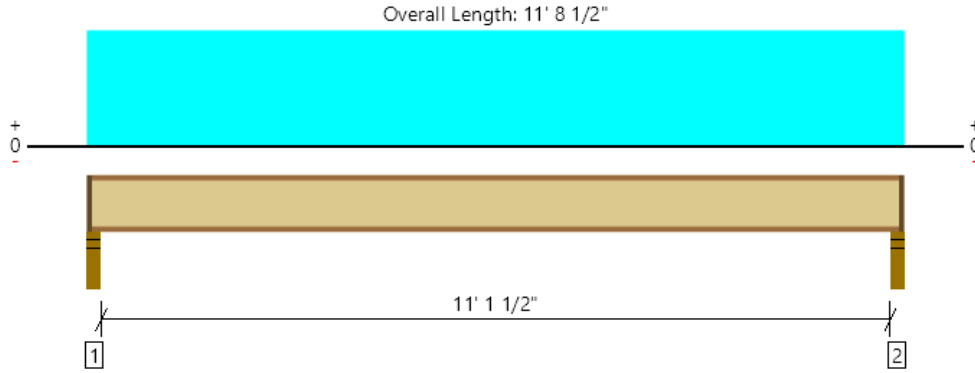
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The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Jed Jones 06/20/22 Snake River Engineering (208) 453-6512 jed@snakeriverengineering.com	



Main Floor, Floor: Joist
 1 piece(s) 9 1/2" TJI® 110 @ 24" OC



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	598 @ 2 1/2"	1041 (2.25")	Passed (57%)	1.00	1.0 D + 1.0 L (All Spans)
Shear (lbs)	579 @ 3 1/2"	1220	Passed (47%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	1658 @ 5' 10 1/4"	2500	Passed (66%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.166 @ 5' 10 1/4"	0.282	Passed (L/817)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.216 @ 5' 10 1/4"	0.565	Passed (L/628)	--	1.0 D + 1.0 L (All Spans)
TJ-Pro™ Rating	43	40	Passed	--	--

System : Floor
 Member Type : Joist
 Building Use : Residential
 Building Code : IBC 2018
 Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- A structural analysis of the deck has not been performed.
- Deflection analysis is based on composite action with a single layer of 23/32" Weyerhaeuser Edge™ Panel (24" Span Rating) that is glued and nailed down.
- Additional considerations for the TJ-Pro™ Rating include: None.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Stud wall - DF	3.50"	2.25"	1.75"	141	468	609	1 1/4" Rim Board
2 - Stud wall - DF	3.50"	2.25"	1.75"	141	468	609	1 1/4" Rim Board

• Rim Board is assumed to carry all loads applied directly above it, bypassing the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	3' 10" o/c	
Bottom Edge (Lu)	11' 6" o/c	

- TJI joists are only analyzed using Maximum Allowable bracing solutions.
- Maximum allowable bracing intervals based on applied load.

Vertical Load	Location	Spacing	Dead (0.90)	Floor Live (1.00)	Comments
1 - Uniform (PSF)	0 to 11' 8 1/2"	24"	12.0	40.0	Default Load

Weyerhaeuser Notes

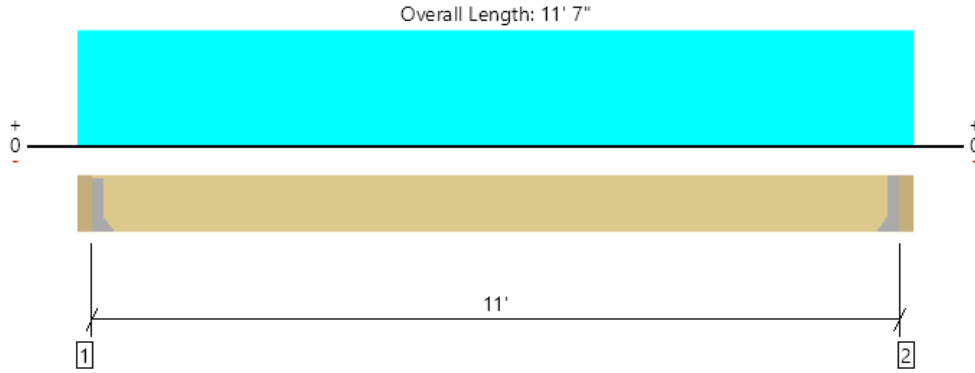
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The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Jed Jones 06/20/22 Snake River Engineering (208) 453-6512 jed@snakeriverengineering.com	



Main Floor, Porch Beam
1 piece(s) 4 x 12 DF No.2



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	2021 @ 3 1/2"	3281 (1.50")	Passed (62%)	--	1.0 D + 1.0 S (All Spans)
Shear (lbs)	1677 @ 1' 2 3/4"	5434	Passed (31%)	1.15	1.0 D + 1.0 S (All Spans)
Moment (Ft-lbs)	5558 @ 5' 9 1/2"	7004	Passed (79%)	1.15	1.0 D + 1.0 S (All Spans)
Live Load Defl. (in)	0.164 @ 5' 9 1/2"	0.275	Passed (L/807)	--	1.0 D + 1.0 S (All Spans)
Total Load Defl. (in)	0.182 @ 5' 9 1/2"	0.550	Passed (L/725)	--	1.0 D + 1.0 S (All Spans)

System : Floor
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2018
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Snow	Total	
1 - Hanger on 11 1/4" DF beam	3.50"	Hanger ¹	1.50"	214	1911	2125	See note ¹
2 - Hanger on 11 1/4" DF beam	3.50"	Hanger ¹	1.50"	214	1911	2125	See note ¹

- At hanger supports, the Total Bearing dimension is equal to the width of the material that is supporting the hanger
- ¹ See Connector grid below for additional information and/or requirements.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	11' o/c	
Bottom Edge (Lu)	11' o/c	

- Maximum allowable bracing intervals based on applied load.

Connector: Simpson Strong-Tie							
Support	Model	Seat Length	Top Fasteners	Face Fasteners	Member Fasteners	Accessories	
1 - Face Mount Hanger	LGU3.63-SDS H=11	4.50"	N/A	16-SDS25212	12-SDS25212		
2 - Face Mount Hanger	LGU3.63-SDS H=11	4.50"	N/A	16-SDS25212	12-SDS25212		

- Refer to manufacturer notes and instructions for proper installation and use of all connectors.

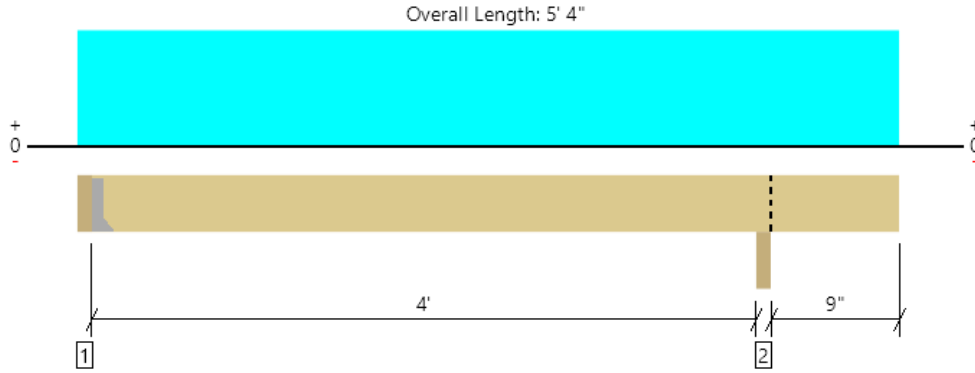
Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Snow (1.15)	Comments
0 - Self Weight (PLF)	3 1/2" to 11' 3 1/2"	N/A	10.0	--	
1 - Uniform (PSF)	0 to 11' 7" (Top)	2' 9"	10.0	120.0	Default Load

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ForteWEB Software Operator	Job Notes
Jed Jones 06/20/22 Snake River Engineering (208) 453-6512 jed@snakeriverengineering.com	



Main Floor, Porch Joist
1 piece(s) 2 x 8 DF No.2 @ 16" OC



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	142 @ 3 1/2"	1406 (1.50")	Passed (10%)	--	1.0 D + 1.0 L (Alt Spans)
Shear (lbs)	100 @ 10 3/4"	1305	Passed (8%)	1.00	1.0 D + 1.0 L (Alt Spans)
Moment (Ft-lbs)	146 @ 2' 4 1/8"	1360	Passed (11%)	1.00	1.0 D + 1.0 L (Alt Spans)
Live Load Defl. (in)	0.005 @ 2' 4 3/8"	0.104	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)
Total Load Defl. (in)	0.006 @ 2' 4 5/16"	0.207	Passed (L/999+)	--	1.0 D + 1.0 L (Alt Spans)
TJ-Pro™ Rating	N/A	N/A	N/A	--	N/A

System : Floor
Member Type : Joist
Building Use : Residential
Building Code : IBC 2018
Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Overhang deflection criteria: LL (2L/480) and TL (2L/240).
- Allowed moment does not reflect the adjustment for the beam stability factor.
- A 15% increase in the moment capacity has been added to account for repetitive member usage.
- Applicable calculations are based on NDS.
- No composite action between deck and joist was considered in analysis.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Floor Live	Total	
1 - Hanger on 7 1/4" DF beam	3.50"	Hanger ¹	1.50"	36	126	162	See note ¹
2 - Beam - DF	3.50"	3.50"	1.50"	49	163	212	Blocking

- Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.
- At hanger supports, the Total Bearing dimension is equal to the width of the material that is supporting the hanger
- ¹ See Connector grid below for additional information and/or requirements.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	5' 1" o/c	
Bottom Edge (Lu)	5' 1" o/c	

- Maximum allowable bracing intervals based on applied load.

Connector: Simpson Strong-Tie							
Support	Model	Seat Length	Top Fasteners	Face Fasteners	Member Fasteners	Accessories	
1 - Face Mount Hanger	LU26	1.50"	N/A	6-10dx1.5	4-10dx1.5		

- Refer to manufacturer notes and instructions for proper installation and use of all connectors.

Vertical Load	Location (Side)	Spacing	Dead (0.90)	Floor Live (1.00)	Comments
1 - Uniform (PSF)	0 to 5' 4"	16"	12.0	40.0	Default Load

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524 CLEVELAND BLVD. #230
CALDWELL, IDAHO 83605
(208) 453-6512

Completed by: JDJ
Review/Check: KKJ

Project Name: 31/02 Lick Creek
SRE Project #: 2022-3461
City and State: Donnelly, Idaho

H1 Beam Calculations

	Additional Drift	Roof	Floor	Deck	Wall	Total Load	Total Load
Trib	0.0	3	0	0	3.33		451.0 plf
Dead Load	-	51.0	0.0	0.0	40.0	91.0 plf	
Live / Snow Load	0	360.0	0.0	0.0	-	360.0 plf	

Description:	2.0 ft Opening	2.5 ft Opening	3.0 ft Opening	4.0 ft Opening				
Header Callout	(2)2x6 DF-L No. 2	(2)2x6 DF-L No. 2	(2)2x6 DF-L No. 2	(2)2x6 DF-L No. 2				
Trimmers	(1) 2x6 DF-L No. 2	(1) 2x6 DF-L No. 2	(1) 2x6 DF-L No. 2	(1) 2x6 DF-L No. 2				

Wood Design								
Species	DF-L	DF-L	DF-L	DF-L				
Grade	No. 2	No. 2	No. 2	No. 2				
Width	3.00 in	3.00 in	3.00 in	3.00 in				
Depth	5.50 in	5.50 in	5.50 in	5.50 in				

Reaction								
Dead Load	91 lbs	114 lbs	136 lbs	182 lbs				
Live Load	360 lbs	450 lbs	540 lbs	720 lbs				

Load								
lu	2.0 ft	2.5 ft	3.0 ft	4.0 ft				
le	4.1 ft	5.2 ft	6.2 ft	7.9 ft				

Adjustment Factors								
Cd	1.15	1.15	1.15	1.15				
CF	1.3	1.3	1.3	1.3				

Material Properties								
Fb	900 psi	900 psi	900 psi	900 psi				
Fv	180 psi	180 psi	180 psi	180 psi				
E	1,600,000 psi	1,600,000 psi	1,600,000 psi	1,600,000 psi				
Emin	580,000 psi	580,000 psi	580,000 psi	580,000 psi				

Calculated Prop.								
A	16.50 in^2	16.50 in^2	16.50 in^2	16.50 in^2				
I	41.59 in^4	41.59 in^4	41.59 in^4	41.59 in^4				
S	15.13 in^3	15.13 in^3	15.13 in^3	15.13 in^3				
RB	5.50	6.15	6.73	7.61				
Emin'	580,000 psi	580,000 psi	580,000 psi	580,000 psi				
FbE	23,036 psi	18,429 psi	15,357 psi	12,021 psi				
Fb*	1,346 psi	1,346 psi	1,346 psi	1,346 psi				
CL	1	1	1	1				

Shear and Moment								
M	2,706 lb-in	4,228 lb-in	6,088 lb-in	10,823 lb-in				
V	451 lbs	564 lbs	676 lbs	902 lbs				

Stress								
fb	179 psi	280 psi	403 psi	716 psi				
Fb'	1,341 psi	1,340 psi	1,339 psi	1,337 psi				
fb/Fb'	0.13	0.21	0.30	0.54				
fv	41 psi	51 psi	61 psi	82 psi				
Fv'	207 psi	207 psi	207 psi	207 psi				
fv/Fv'	0.20	0.25	0.30	0.40				
Max Ratio	0.20	0.25	0.30	0.54				
	Pass	Pass	Pass	Pass				

Deflection								
ΔTL	0.00 in	0.01 in	0.01 in	0.04 in				
	L/9,838	L/5,037	L/2,915	L/1,230				
ΔLL	0.00 in	0.00 in	0.01 in	0.03 in				
	L/12,324	L/6,310	L/3,652	L/1,541				
	Pass	Pass	Pass	Pass				



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Project Name: 31/02 Lick Creek
SRE Project #: 2022-3461
City and State: Donnelly, Idaho

H1 (2) Beam Calculations

	Additional Drift	Roof	Floor	Deck	Wall	Total Load	Total Load
Trib	0.0	3	1	0	3.33		
Dead Load	-	51.0	12.0	0.0	40.0	103.0 plf	503.0 plf
Live / Snow Load	0	360.0	40.0	0.0	-	400.0 plf	

Description:	18.0 ft Opening						
Header Callout	(2)14" LVL 2.0E						
Trimmers	(2) 2x6 DF-L No. 2						

Wood Design							
Species	LVL						
Grade	2.0E						
Width	3.50 in						
Depth	14.00 in						

Reaction							
Dead Load	927 lbs						
Live Load	3,600 lbs						

Load							
lu	18.0 ft						
le	33.1 ft						

Adjustment Factors							
Cd	1.15						
CF	1						

Material Properties							
Fb	2,900 psi						
Fv	285 psi						
E	2,000,000 psi						
Emin	1,016,535 psi						

Calculated Prop.							
A	49.00 in ²						
I	800.33 in ⁴						
S	114.33 in ³						
RB	21.31						
Emin'	1,016,535 psi						
FbE	2,686 psi						
Fb*	3,335 psi						
CL	1						

Shear and Moment							
M	244,439 lb-in						
V	4,527 lbs						

Stress							
fb	2,138 psi						
Fb'	2,386 psi						
fb/Fb'	0.90						
fv	139 psi						
Fv'	328 psi						
fv/Fv'	0.42						
Max Ratio	0.90						
	Pass						

Deflection							
ΔTL	0.74 in						
	L/291						
ΔLL	0.59 in						
	L/366						
	Pass						



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CALDWELL, IDAHO 83605
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Completed by: JDJ
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Project Name: 31/02 Lick Creek
SRE Project #: 2022-3461
City and State: Donnelly, Idaho

H1 (3) Beam Calculations

	Additional Drift	Roof	Floor	Deck	Wall	Total Load	Total Load
Trib	0.0	21	0	0	3.33		
Dead Load	-	357.0	0.0	0.0	40.0	397.0 plf	2,917.0 plf
Live / Snow Load	0	2520.0	0.0	0.0	-	2,520.0 plf	

Description:	3.0 ft Opening	5.0 ft Opening					
Header Callout	(2)2x12 DF-L No. 2	(3)9-1/2" LVL 2.0E					
Trimmers	(2) 2x6 DF-L No. 2	(2) 2x6 DF-L No. 2					

Wood Design							
Species	DF-L	LVL					
Grade	No. 2	2.0E					
Width	3.00 in	5.25 in					
Depth	11.25 in	9.50 in					

Reaction							
Dead Load	595 lbs	992 lbs					
Live Load	3,780 lbs	6,300 lbs					

Load							
lu	3.0 ft	5.0 ft					
le	6.2 ft	10.3 ft					

Adjustment Factors							
Cd	1.15	1.15					
CF	1	1.1					

Material Properties							
Fb	900 psi	2,900 psi					
Fv	180 psi	285 psi					
E	1,600,000 psi	2,000,000 psi					
Emin	580,000 psi	1,016,535 psi					

Calculated Prop.							
A	33.75 in ²	49.88 in ²					
I	355.96 in ⁴	375.10 in ⁴					
S	63.28 in ³	78.97 in ³					
RB	9.63	6.53					
Emin'	580,000 psi	1,016,535 psi					
FbE	7,508 psi	28,634 psi					
Fb*	1,035 psi	3,669 psi					
CL	1	1					

Shear and Moment							
M	39,379 lb-in	109,386 lb-in					
V	4,375 lbs	7,292 lbs					

Stress							
fb	622 psi	1,385 psi					
Fb'	1,027 psi	3,642 psi					
fb/Fb'	0.61	0.38					
fv	194 psi	219 psi					
Fv'	207 psi	328 psi					
fv/Fv'	0.94	0.67					
Max Ratio	0.94	0.67					
	Pass	Pass					

Deflection							
ΔTL	0.01 in	0.05 in					
	L/3,857	L/1,097					
ΔLL	0.01 in	0.05 in					
	L/4,464	L/1,270					
	Pass	Pass					



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CALDWELL, IDAHO 83605
(208) 453-6512

Completed by: JDJ
Review/Check: KKJ

Project Name: 31/02 Lick Creek
SRE Project #: 2022-3461
City and State: Donnelly, Idaho

H1 (4) Beam Calculations

	Additional Drift	Roof	Floor	Deck	Wall	Total Load	Total Load
Trib	0.0	12.75	0	0	3.33		
Dead Load	-	216.8	0.0	0.0	40.0	256.7 plf	1,786.7 plf
Live / Snow Load	0	1530.0	0.0	0.0	-	1,530.0 plf	

Description:	3.0 ft Opening	8.0 ft Opening					
Header Callout	(2)2x8 DF-L No. 2	(2)11-7/8" LVL 2.0E					
Trimmers	(1) 2x6 DF-L No. 2	(3) 2x6 DF-L No. 2					

Wood Design							
Species	DF-L	LVL					
Grade	No. 2	2.0E					
Width	3.00 in	3.50 in					
Depth	7.25 in	11.88 in					

Reaction							
Dead Load	385 lbs	1,027 lbs					
Live Load	2,295 lbs	6,120 lbs					

Load							
lu	3.0 ft	8.0 ft					
le	6.2 ft	16.0 ft					

Adjustment Factors							
Cd	1.15	1.15					
CF	1.2	1					

Material Properties							
Fb	900 psi	2,900 psi					
Fv	180 psi	285 psi					
E	1,600,000 psi	2,000,000 psi					
Emin	580,000 psi	1,016,535 psi					

Calculated Prop.							
A	21.75 in ²	41.56 in ²					
I	95.27 in ⁴	488.41 in ⁴					
S	26.28 in ³	82.26 in ³					
RB	7.73	13.65					
Emin'	580,000 psi	1,016,535 psi					
FbE	11,650 psi	6,550 psi					
Fb*	1,242 psi	3,335 psi					
CL	1	1					

Shear and Moment							
M	24,121 lb-in	171,524 lb-in					
V	2,680 lbs	7,147 lbs					

Stress							
fb	918 psi	2,085 psi					
Fb'	1,235 psi	3,184 psi					
fb/Fb'	0.74	0.65					
fv	185 psi	258 psi					
Fv'	207 psi	328 psi					
fv/Fv'	0.89	0.79					
Max Ratio	0.89	0.79					
	Pass	Pass					

Deflection							
ΔTL	0.02 in	0.17 in					
	L/1,685	L/569					
ΔLL	0.02 in	0.14 in					
	L/1,968	L/665					
	Pass	Pass					



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H1 (5) Beam Calculations

	Additional Drift	Roof	Floor	Deck	Wall	Total Load	Total Load
Trib	0.0	21	0	0	3.33		
Dead Load	-	357.0	0.0	0.0	40.0	397.0 plf	2,917.0 plf
Live / Snow Load	0	2520.0	0.0	0.0	-	2,520.0 plf	

Description:	3.0 ft Opening							
Header Callout	(2)2x12 DF-L No. 2							
Trimmers	(2) 2x6 DF-L No. 2							

Wood Design								
Species	DF-L							
Grade	No. 2							
Width	3.00 in							
Depth	11.25 in							

Reaction								
Dead Load	595 lbs							
Live Load	3,780 lbs							

Load								
lu	3.0 ft							
le	6.2 ft							

Adjustment Factors								
Cd	1.15							
CF	1							

Material Properties								
Fb	900 psi							
Fv	180 psi							
E	1,600,000 psi							
Emin	580,000 psi							

Calculated Prop.								
A	33.75 in ²							
I	355.96 in ⁴							
S	63.28 in ³							
RB	9.63							
Emin'	580,000 psi							
FbE	7,508 psi							
Fb*	1,035 psi							
CL	1							

Shear and Moment								
M	39,379 lb-in							
V	4,375 lbs							

Stress								
fb	622 psi							
Fb'	1,027 psi							
fb/Fb'	0.61							
fv	194 psi							
Fv'	207 psi							
fv/Fv'	0.94							
Max Ratio	0.94							
	Pass							

Deflection								
ΔTL	0.01 in							
	L/3,857							
ΔLL	0.01 in							
	L/4,464							
	Pass							



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TALL WALL CALCULATIONS:

This spreadsheet is used for designing a stud wall according to the NDS.

Description:

	9' Tall Wall	King Stud (3' Max Opening)	9' Trimmer	King Stud (12' Max Opening)	King Stud (18' Max Opening)
Type:	2x Lumber (2"-4")	2x Lumber (2"-4")	2x Lumber (2"-4")	2x Lumber (2"-4")	2x Lumber (2"-4")
Species:	DF-L	DF-L	DF-L	DF-L	DF-L
Grade:	No. 2	No. 2	No. 2	No. 2	No. 2
Nominal width, t =	(1) 2	(1) 2	(1) 2	(1) 2	(2) 2
Actual width =	1.50 in	1.50 in	1.50 in	1.50 in	3.00 in
Nominal depth, d =	6	6	6	6	6
Actual depth =	5.50 in	5.50 in	5.50 in	5.50 in	5.50 in
Span, L =	9.000 ft	9.000 ft	9.000 ft	9.000 ft	9.000 ft
w/o Plates	8.750 ft	8.750 ft	8.750 ft	8.750 ft	8.750 ft
Stud spacing, s =	16 in	28 in	16 in	82 in	118 in
Lat. Pressure, w _{wind} =	13.48 psf	13.48 psf	5.00 psf	13.48 psf	13.48 psf
Axial load, P =	3836 lbs	50 lbs	4316 lbs	50 lbs	50 lbs
Eccentricity, e =	0 in	0 in	0 in	0 in	0 in
K _{CE} =	0.3	0.3	0.3	0.3	0.3
c =	0.8	0.8	0.8	0.8	0.8
w =	18.0 plf	31.7 plf	6.7 plf	92.4 plf	132.8 plf
F _b	900 psi	900 psi	900 psi	900 psi	900 psi
F _v	180 psi	180 psi	180 psi	180 psi	180 psi
F _{c-prll}	1,350 psi	1,350 psi	1,350 psi	1,350 psi	1,350 psi
F _{c-perp}	625 psi	625 psi	625 psi	625 psi	625 psi
C _d	1.60	1.60	1.15	1.60	1.60
C _{F,Fb}	1.30	1.30	1.30	1.30	1.30
C _{F,Fcprll}	1.10	1.10	1.10	1.10	1.10
C _r	1.15	1.00	1.00	1.00	1.00
C _p	0.47	0.47	0.60	0.47	0.47
C _H	1.00	1.00	1.00	1.00	1.00
C _b	1.07	1.07	1.07	1.07	1.07
E	1,600,000 psi	1,600,000 psi	1,600,000 psi	1,600,000 psi	1,600,000 psi
E _{min}	580,000 psi	580,000 psi	580,000 psi	580,000 psi	580,000 psi
Allowable Stress:					
F' _b = F _b C _d C _F C _r	2153 psi	1872 psi	1346 psi	1872 psi	1872 psi
F' _v = F _v C _d C _H	288 psi	288 psi	207 psi	288 psi	288 psi
F' _c = F _c C _d C _F	2376 psi	2376 psi	1708 psi	2376 psi	2376 psi
F' _{CE} = (K _{CE} E')/(l/d)2	1317 psi	1317 psi	1317 psi	1317 psi	1317 psi
F' _c = F _c C _d C _F C _p	1118 psi	1118 psi	1017 psi	1118 psi	1118 psi
F' _{c-perp} = F _{c-perp} C _b	668 psi	668 psi	668 psi	668 psi	668 psi
E'	1600000 psi	1600000 psi	1600000 psi	1600000 psi	1600000 psi
F _{bE}	2712 psi	2712 psi	2712 psi	2712 psi	10847 psi
Slenderness Ratio:	< 50 OK	< 50 OK	< 50 OK	< 50 OK	< 50 OK
R _b	16	16	16	16	8
Bending:	< F' _b OK	< F' _b OK	< F' _b OK	< F' _b OK	< F' _b OK
M = w L ² /8 + P e/12	172 ft-lbs	304 ft-lbs	64 ft-lbs	884 ft-lbs	1271 ft-lbs
f _b = M/S	273 psi	482 psi	101 psi	1403 psi	1008 psi
S	8 in ³	8 in ³	8 in ³	8 in ³	15 in ³
Shear:	< F' _v OK	< F' _v OK	< F' _v OK	< F' _v OK	< F' _v OK
V = w L/2	79 lbs	139 lbs	29 lbs	404 lbs	581 lbs
f _v = 1.5 V/A	14 psi	25 psi	5 psi	73 psi	53 psi
A	8 in ²	8 in ²	8 in ²	8 in ²	17 in ²
Compression:	< F' _c OK	< F' _c OK	< F' _c OK	< F' _c OK	< F' _c OK
f _c = P/A	465 psi	6 psi	523 psi	6 psi	3 psi
Compression (perp.):	< F' _c OK	< F' _c OK	< F' _c OK	< F' _c OK	< F' _c OK
f _{c-perp} = P/A	465 psi	6 psi	523 psi	6 psi	3 psi
Combined:	< 1.0 OK				
(f _c /F _c)2 + (f _b /[F _b (1-(f _c /F _c E))])	0.37				
Deflection:	> 180 OK	> 180 OK	> 180 OK	> 180 OK	> 180 OK
D = 22.5 w L ⁴ /E'I	0.07 in	0.13 in	0.03 in	0.37 in	0.26 in
I	21 in ⁴	21 in ⁴	21 in ⁴	21 in ⁴	42 in ⁴
SPAN /	1474	835	3974	287	399



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 City and State: Donnelly, Idaho

Individual Footing Design

Program: Continuous Footing

Soil Bearing Pressure: 1500psf

<i>Roof</i>			
Roof Dead	(17psf)	(23.0ft)	= 391plf
Snow Live	(120psf)	(23.0ft)	= 2760plf

<i>Main Floor</i>			
Floor Dead	(12psf)	(2.8ft)	= 34plf
Floor Live	(40psf)	(2.8ft)	= 112plf

<i>Deck Floor</i>			
Floor Dead	(12psf)	(2.0ft)	= 24plf
Snow Live	(120psf)	(2.0ft)	= 240plf

<i>Misc</i>			
Wall Load:	(12psf)	(9.0ft)	= 108plf
Conc Stem:	(145pcf)	(2 x .5ft)	= 145plf
Misc Load:	(.0ft)	(.0ft) (.0ft)	= plf

3813plf

Use Footing Width:	36	x	10	in
w/	(3)	#4	Cont.	



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Individual Footing Design

Program: Continuous Footing

Soil Bearing Pressure: 1500psf

<i>Roof</i>			
Roof Dead	(17psf)	(21.0ft)	= 357plf
Snow Live	(120psf)	(21.0ft)	= 2520plf

<i>Main Floor</i>			
Floor Dead	(12psf)	(5.0ft)	= 60plf
Floor Live	(40psf)	(5.0ft)	= 200plf

<i>Misc</i>			
Wall Load:	(12psf)	(9.0ft)	= 108plf
Conc Stem:	(145pcf)	(2 x .5ft)	= 145plf
Misc Load:	(.0ft)	(.0ft) (.0ft)	= plf

3390plf

Use Footing Width:	30	x	10	in
W/		(3)	#4	Cont.



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Individual Footing Design

Program: Continuous Footing

Soil Bearing Pressure: 1500psf

<i>Roof</i>			
Roof Dead	(17psf)	(3.0ft)	= 51plf
Snow Live	(120psf)	(3.0ft)	= 360plf

<i>Main Floor</i>			
Floor Dead	(12psf)	(6.0ft)	= 72plf
Floor Live	(40psf)	(6.0ft)	= 240plf

<i>Misc</i>			
Wall Load:	(12psf)	(9.0ft)	= 108plf
Conc Stem:	(145pcf)	(2 x .5ft)	= 145plf
Misc Load:	(.0ft)	(.0ft) (.0ft)	= plf

976plf

Use Footing Width:	12	x	8	in
W/	(2)		#4	Cont.



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Individual Footing Design

Program: Continuous Footing

Soil Bearing Pressure: 1500psf

<i>Roof</i>			
Roof Dead	(17psf)	(13.0ft)	= 221plf
Snow Live	(120psf)	(13.0ft)	= 1560plf

<i>Main Floor</i>			
Floor Dead	(12psf)	(1.0ft)	= 12plf
Floor Live	(40psf)	(1.0ft)	= 40plf

<i>Misc</i>			
Wall Load:	(12psf)	(9.0ft)	= 108plf
Conc Stem:	(145pcf)	(2 x .5ft)	= 145plf
Misc Load:	(.0ft)	(.0ft) (.0ft)	= plf

2086plf

Use Footing Width:	18	x	8	in
w/	(2)	#4	Cont.	



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Individual Footing Design

Program: Continuous Footing

Soil Bearing Pressure: 1500psf

<i>Roof</i>			
Roof Dead	(17psf)	(12.0ft)	= 204plf
Snow Live	(120psf)	(12.0ft)	= 1440plf

<i>Main Floor</i>			
Floor Dead	(12psf)	(5.5ft)	= 66plf
Floor Live	(40psf)	(5.5ft)	= 220plf

<i>Misc</i>			
Wall Load:	(12psf)	(9.0ft)	= 108plf
Conc Stem:	(145pcf)	(2 x .5ft)	= 145plf
Misc Load:	(.0ft)	(.0ft) (.0ft)	= plf

2183plf

Use Footing Width:	24	x	8	in
w/	(2)	#4	Cont.	



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Individual Footing Design

Program: Continuous Footing

Soil Bearing Pressure: 1500psf

<i>Roof</i>			
Roof Dead	(17psf)	(14.0ft)	= 238plf
Snow Live	(120psf)	(14.0ft)	= 1680plf

<i>Upper Floor</i>			
Floor Dead	(12psf)	(7.0ft)	= 84plf
Floor Live	(40psf)	(7.0ft)	= 280plf

<i>Misc</i>			
Wall Load:	(12psf)	(9.0ft)	= 108plf
Conc Stem:	(145pcf)	(2 x .5ft)	= 145plf
Misc Load:	(.0ft)	(.0ft) (.0ft)	= plf

2535plf

Use Footing Width:	24	x	8	in
w/	(2)	#4	Cont.	



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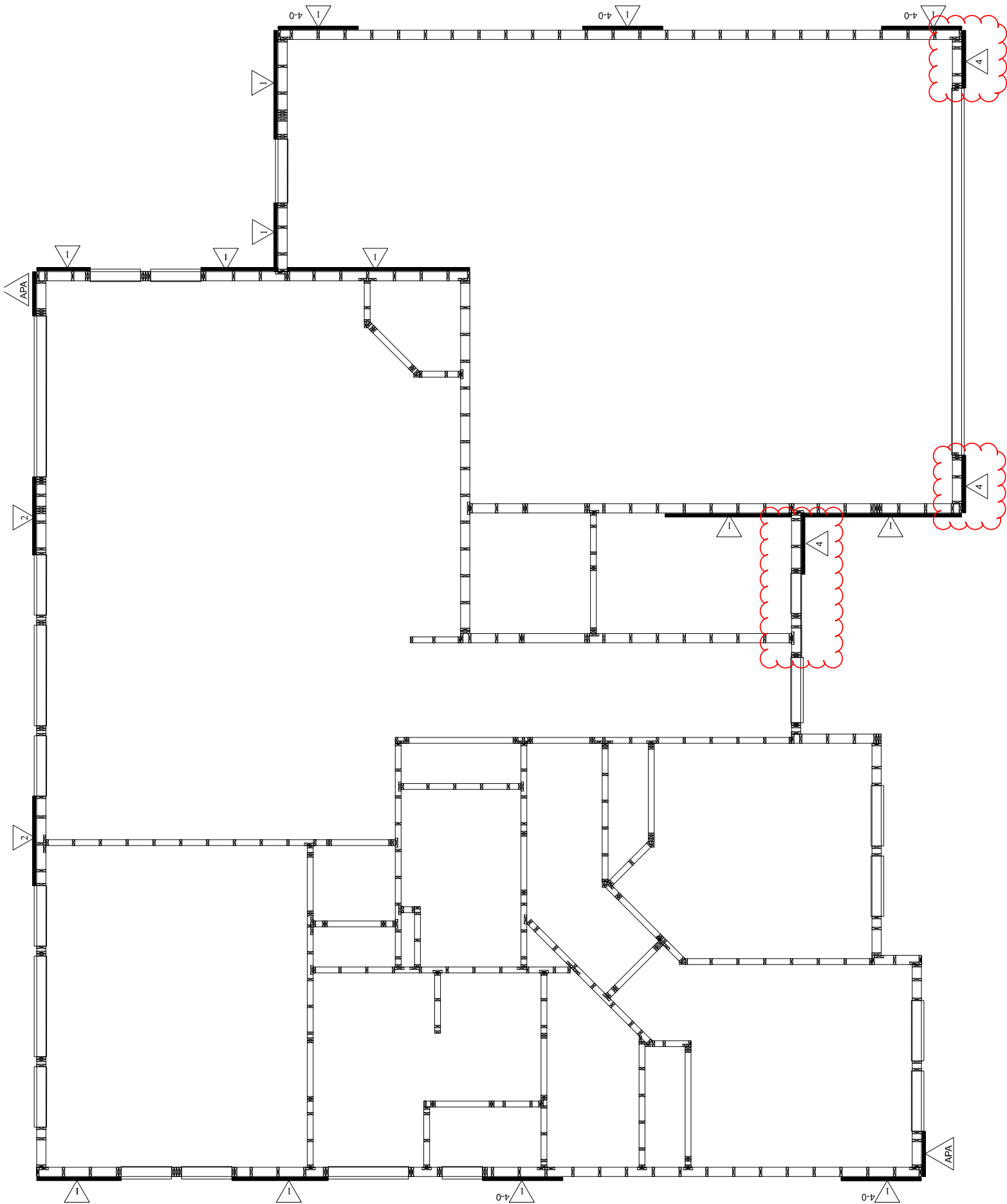
Completed by: JDJ
Review/Check: KKJ

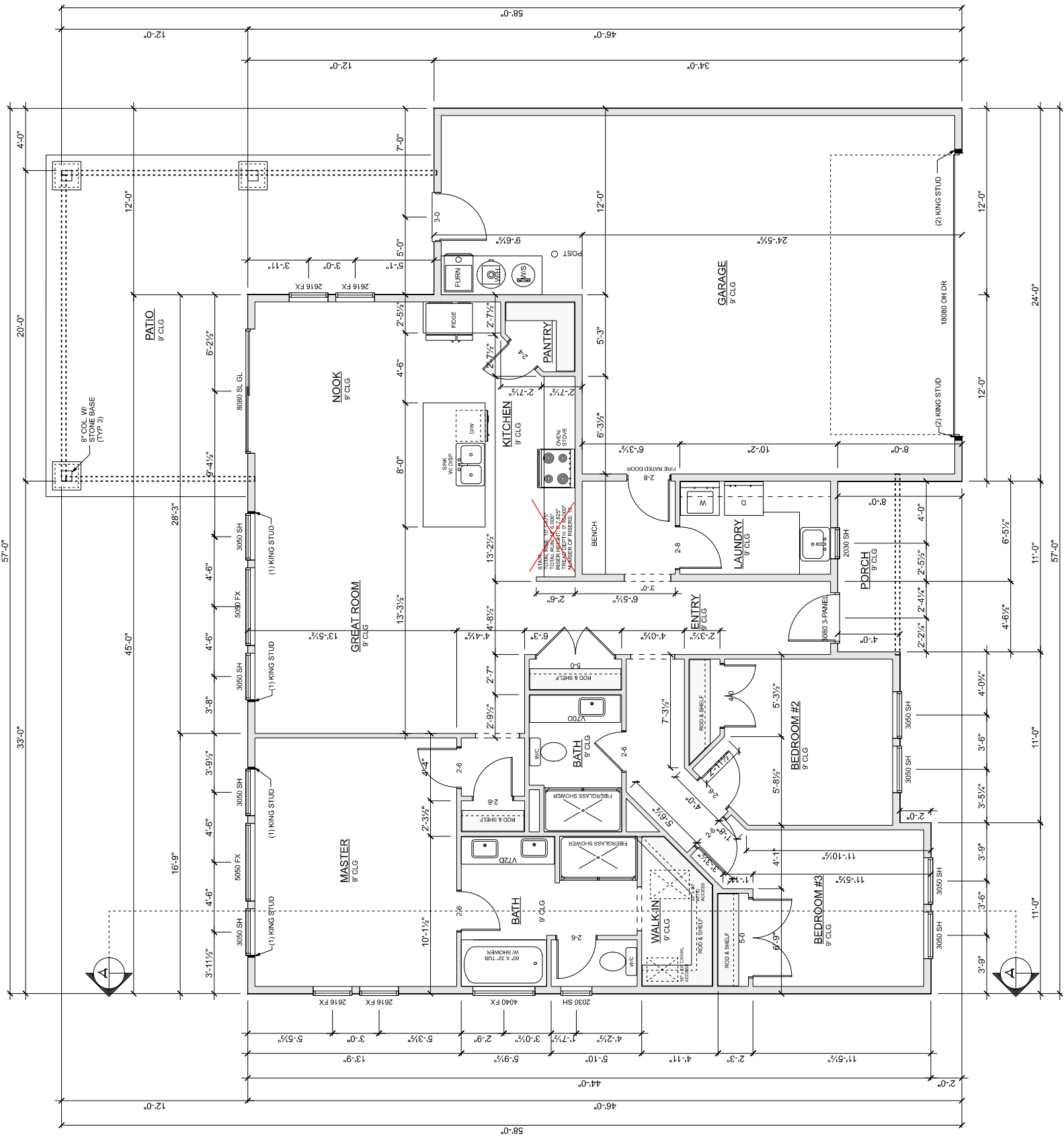
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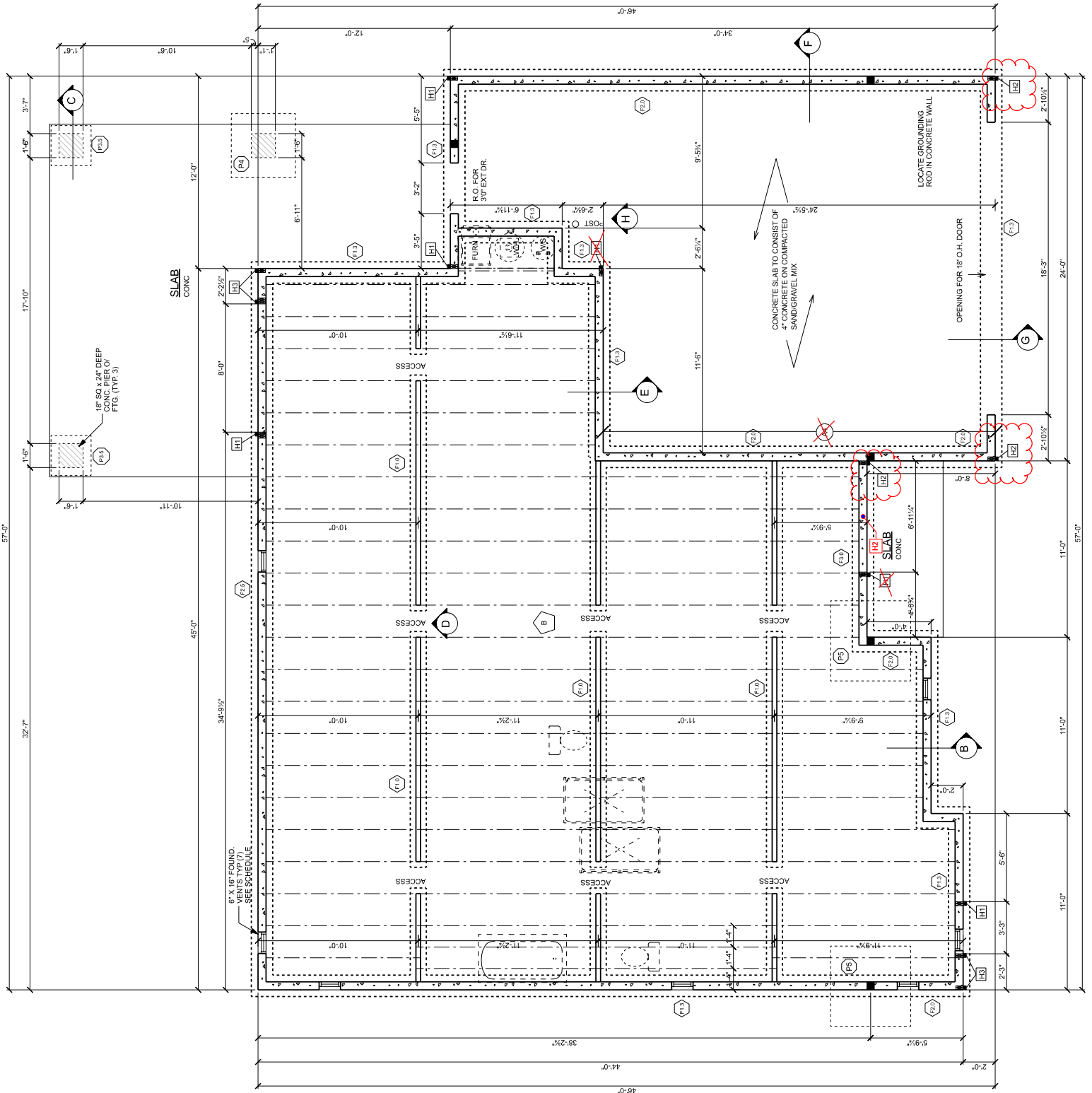
Pad Footing Design Capacities

Soil Bearing (1500 psf)					Min. Column Size	
Dimensions (Inches)			Capacity	# of Bars		
84	x	84	x 12	64,300 lbs	10	8. sq.
72	x	72	x 12	47,500 lbs	8	3.5 sq.
66	x	66	x 12	39,750 lbs	8	3.5 sq.
60	x	60	x 10	33,450 lbs	6	3.5 sq.
54	x	54	x 10	27,000 lbs	5	3.5 sq.
48	x	48	x 8	21,500 lbs	4	3.5 sq.
42	x	42	x 8	16,500 lbs	4	3.5 sq.
36	x	36	x 8	12,000 lbs	4	3.5 sq.
30	x	30	x 8	8,350 lbs	3	3.5 sq.
24	x	24	x 8	5,300 lbs	2	3.5 sq.
18	x	18	x 8	2,900 lbs	2	3.5 sq.

Bars to be 3 1/2" from bottom of pad. Evenly space in both directions.





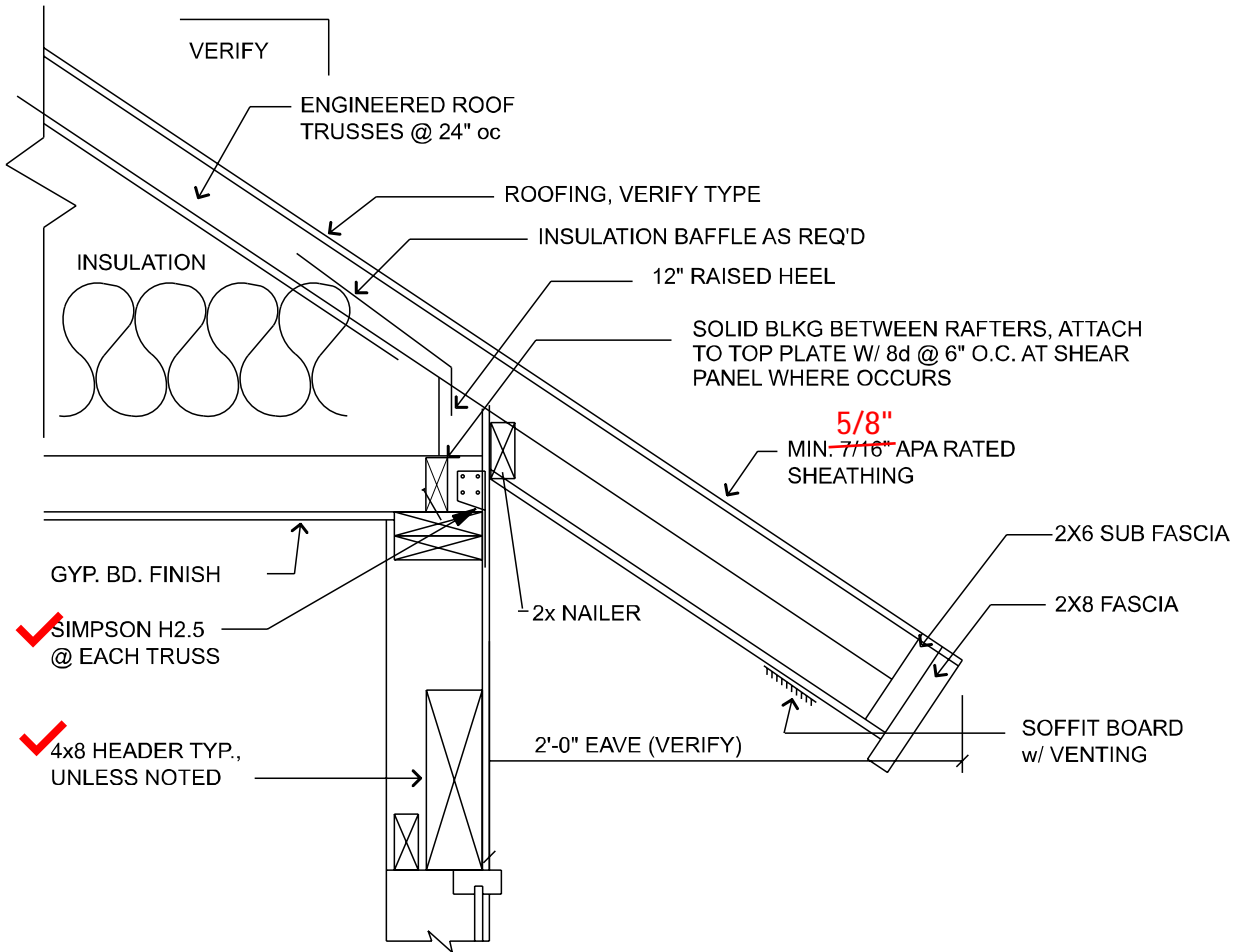




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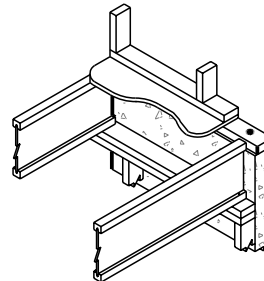
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 SRE Project #: 2022-3461
 City and State: Donnelly, Idaho



A **RAKED EAVE DETAIL (RAISED HEEL)**
 1" = 1'-0"

FLOOR SYSTEM

FLOOR SYSTEM TO CONSIST OF
 9.5" TJI/Pro110's AT 24" O.C. ✓
 7/8" T & G APA RATED FOR 2' OC
 2X4 BEARING WALL FRAMED IN LINE
 HANG JOISTS IN FOUNDATION

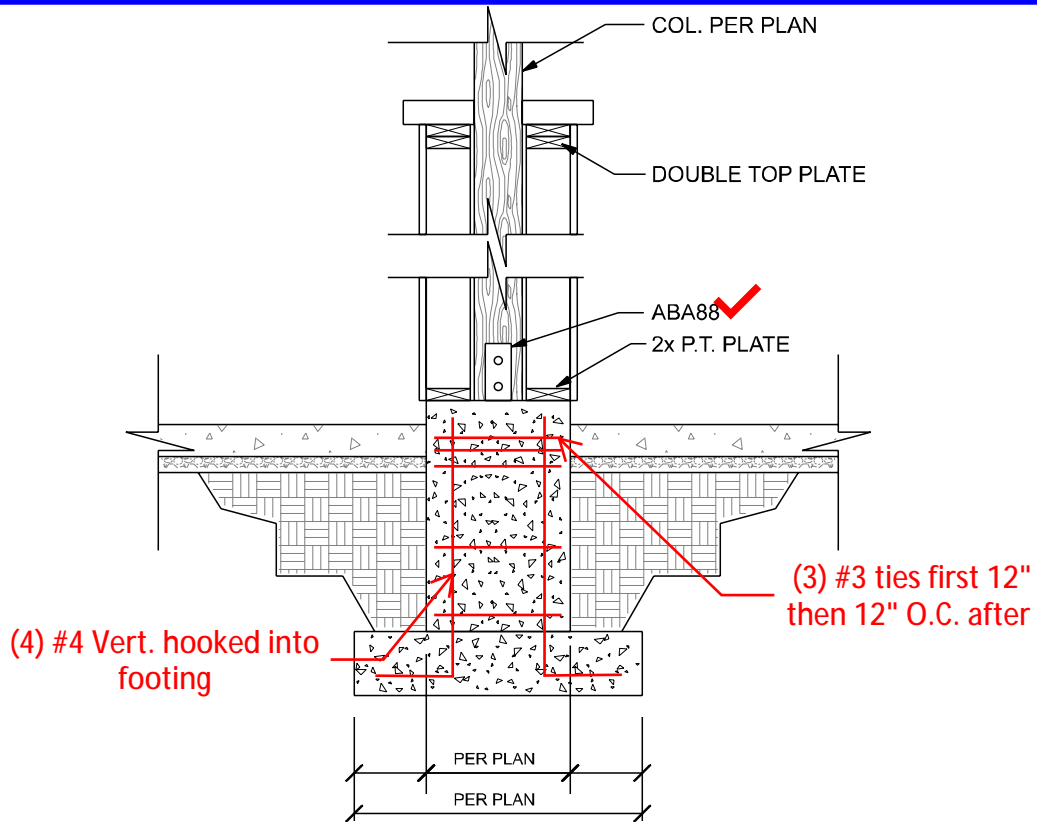




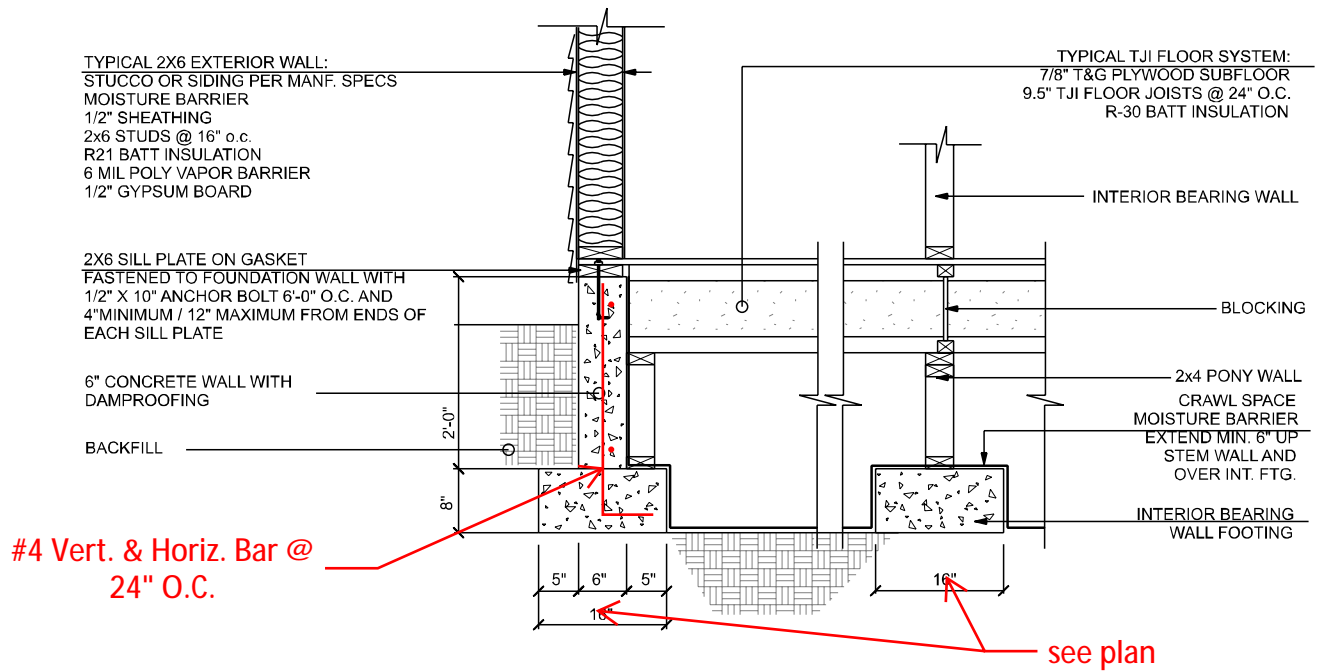
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C PIER PAD DETAIL
 SCALE: 1/2" = 1'-0"



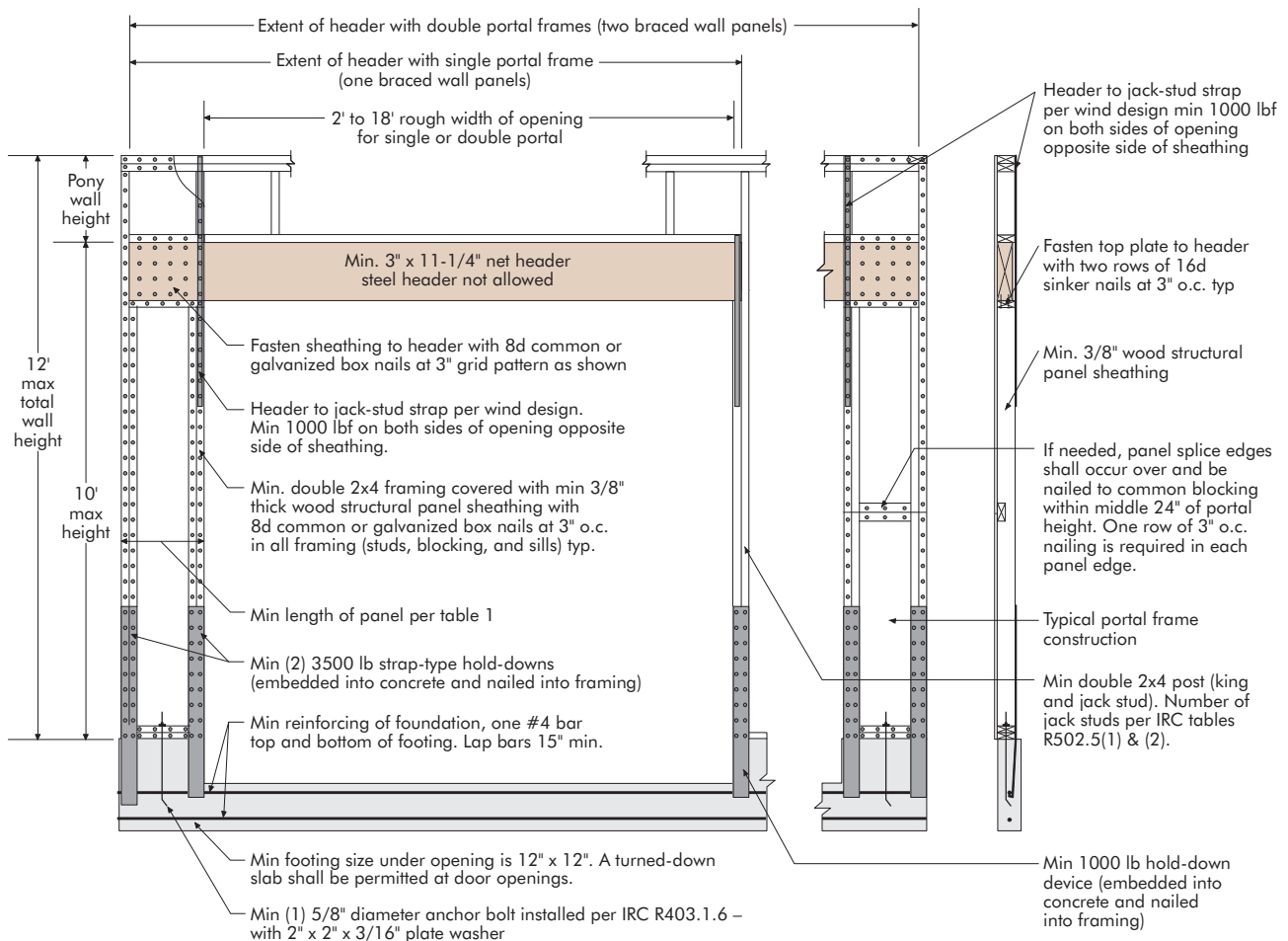
B CRAWL FOUNDATION DETAIL
 SCALE: 1/2" = 1'-0"

Minimum Width (in.)	Maximum Height (ft)	Allowable Design (ASD) Values per Frame Segment		
		Shear ^(e,f) (lbf)	Deflection (in.)	Load Factor
16	8	850	0.33	3.09
	10	625	0.44	2.97
24	8	1,675	0.38	2.88
	10	1,125	0.51	3.42

Foundation for Wind or Seismic Loading^(a,b,c,d)

- (a) Design values are based on the use of Douglas-fir or Southern pine framing. For other species of framing, multiply the above shear design value by the specific gravity adjustment factor = $(1 - (0.5 - SG))$, where SG = specific gravity of the actual framing. This adjustment shall not be greater than 1.0.
- (b) For construction as shown in Figure 1.
- (c) Values are for a single portal-frame segment (one vertical leg and a portion of the header). For multiple portal-frame segments, the allowable shear design values are permitted to be multiplied by the number of frame segments (e.g., two = 2x, three = 3x, etc.).
- (d) Interpolation of design values for heights between 8 and 10 feet, and for portal widths between 16 and 24 inches, is permitted.
- (e) The allowable shear design value is permitted to be multiplied by a factor of 1.4 for wind design.
- (f) If story drift is not a design consideration, the tabulated design shear values are permitted to be multiplied by a factor of 1.15. This factor is permitted to be used cumulatively with the wind-design adjustment factor in Footnote (e) above.

Figure 1. Construction Details for APA Portal-Frame Design with Hold Downs





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OSB SHEAR WALL SCHEDULE:

MARK	SHEATHING	SIDES OF WALL	SHEET NAILING PERIMETER / FIELD		SHEET STAPLING PERIMETER / FIELD	BLKG	NAILING (UNO) BOTTOM PLATE INTO RIM
SW1	7/16" APA RATED	1	8d @ 6 / 12	OR	16ga x 1-1/2" @ 3 / 12	YES	(2) 16d NAILS PER 16" BAY
SW2	7/16" APA RATED	1	8d @ 4 / 12	OR	16ga x 1-1/2" @ 2 / 12	YES	(3) 16d NAILS PER 16" BAY
APA	7/16" APA RATED	1	8d @ 3 / 12		APA TESTED PORTAL FRAME ASSEMBLY	YES	(SEE ATTACHED DETAIL)

TYP. NOTES:

- 1 ALL SHEATHING PANEL EDGES SHALL BE BLOCKED UNO
- 2 PROVIDE SAME NAILING PATTERN ABOVE AND BELOW OPENINGS AS ADJACENT SHEAR PANEL.
- 3 ALL EXTERIOR WALLS SHALL BE SHEARWALL "SW1" WITHOUT BLKG UNO
- 4 FASTEN GABLE/RIM TO SHEAR WALLS BELOW W/ 10d TOENAILS @ 12" O.C. UNO
- 5 FASTEN TRUSS HEELS TO SHEAR WALLS W/ H2.5A AND (2) 10d TOENAILS @ EACH
- 6 GYP BOARD SHEAR WALLS MAY BE SUBSTITUTED WITH AN SW1 SHEAR WALL @ CONTRACTOR'S OPTION
- 7 WALL SHEATHING CAN BE APPLIED TO EITHER SIDE OF THE WALL. (UNLESS NOTED OTHERWISE)

HOLDOWN SCHEDULE:

MARK	STRAP TYPE	STRAP FASTENERS	# OF STUDS		ANCHOR BOLT	# OF STUDS	FASTENERS
HD1	LSTHD8 OR LSTHD8RJ W/ RIM	(20) 16d SINKERS	2	OR	DTT2Z W/1/2"Øx10"	2	(8) 1/4"x1-1/2" SDS
HD3	STHD14 OR STHD14RJ W/ RIM	(30) 16d SINKERS	2	OR	HDU5-SDS2.5 W/ SB5/8x24 OR PAB5 @ INT. PONY WALLS	2	(14) 1/4"x2-1/2" SDS

HOLDOWN SCHEDULE:

MARK	STRAP TYPE	STRAP FASTENERS	# OF STUDS		ANCHOR BOLT	# OF STUDS	FASTENERS
HD2	STHD10 OR STHD10RJ W/ RIM	(24) 16d SINKERS	2	OR	HDU2- SDS2.5 W/ SB5/8x24 OR PAB5 @ INT. PONY WALLS	2	(6) 1/4"x2-1/2" SDS



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
Completed by: JDJ
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ENGINEERING - SHEAR PANEL NAILING

MARK	SHEATHING	SIDES OF WALL	SHEET NAILING PERIMETER / FIELD	SHEET STAPLING PERIMETER / FIELD	BLOCKING	NAILING BOTTOM PLT INTO RIM
1	7/16" APA RATED	(1) SIDE	8d @ 6/12	16 GA x 1-1/2" @ 3/12	YES	(2) 16d NAILS PER 16" BAY
2	7/16" APA RATED	(1) SIDE	8d @ 4/12	16 GA x 1-1/2" @ 2/12	YES	(3) 16d NAILS PER 16" BAY
4	7/16" APA RATED	(1) SIDE	8d @ 2/12	4x STUDS @ SHEATHING PERIMETER	YES	(4) 16d NAILS PER 16" BAY
APA	7/16" APA RATED	(1) SIDE	8d @ 3/12	APA TESTED PORTAL FRAME ASSEMBLY	YES	(SEE ATTACHED DETAIL)

TYP. NOTES:

1. ALL SHEATHING PANEL EDGES SHALL BE BLOCKED UNLESS NOTED OTHERWISE.
2. PROVIDE SAME NAILING PATTERN ABOVE AND BELOW OPENINGS AS ADJACENT SHEAR PANEL.
3. ALL EXTERIOR WALLS SHALL BE SHEARWALL "W1" WITHOUT BLOCKING UNLESS NOTED OTHERWISE.
4. FASTEN GABLE / RIM TO SHEAR WALLS BELOW W/ 10d TOENAILS @ 12" O.C. U.N.O.
5. FASTEN TRUSS HEELS TO SHEAR WALLS W/ H2.5A AND (2) 10d TOENAILS @ EACH.
6. GYP. BOARD SHEAR WALLS MAY BE SUBSTITUTED WITH AN  SHEAR WALL @ CONTRACTOR'S OPTION.
7. WALL SHEATHING CAN BE APPLIED TO EITHER SIDE OF THE WALL. (UNLESS NOTED OTHERWISE)

FOUNDATION WALL LEGEND

-
-
-
-
-
-
-
-
-
-

HOLDOWN SCHEDULE

MARK #	STRAP TYPE	STRAP FASTENERS	# OF STUDS	ANCHOR BOLT	# OF STUDS	C.L. TO FACE OF STUDS	FASTENERS
H1	"SIMPSON" LSTHD8	(20) 16d SINKERS	(2) 2x	OR DTT22 W/ 1/2" DIA. A.B.	(2) 2x	13/16"	(8) 1/4" x 1-1/2" SDS
H2	"SIMPSON" STHD10	(24) 16d SINKERS	(2) 2x	OR HOU5-SDS2.5 W/ SB 5/8 x 24 A.B. OR PABS @ INT. PONY WALLS	(2) 2x	1-5/16"	(6) 1/4" x 2-1/2" SDS
H3	"SIMPSON" STHD14	(30) 16d SINKERS	(2) 2x	OR HOU5-SDS2.5 W/ SB 5/8 x 24 A.B. OR PABS @ INT. PONY WALLS	(2) 2x	1-5/16"	(14) 1/4" x 2-1/2" SDS

NOTE: STHD HOLDOWNS SHALL HAVE A MINIMUM OF 1 1/2" EDGE DISTANCE.

FOUNDATION VENTILATION 1:1500 PER R408.1

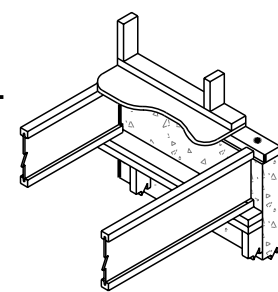
CRAWL SPACE S.F.	1 / 1500	REQ'D NET FREE AREA	30 SQ. IN. NFA
1579	1.1	158 SQ. IN.	(5) MIN. PER R408.2

DIAPHRAGM SCHEDULE

MARK	MATERIAL	BLOCKED	NAILING
A	23/32 PLY/OSB, 24/16, APA RATED (MIN.)	NO	8d @ 6" O.C. EDGES, 12" O.C. FIELD
B	7/8 PLY/OSB, 48/24, APA RATED (MIN.)	NO	10d @ 6" O.C. EDGES, 12" O.C. FIELD

FLOOR SYSTEM

FLOOR SYSTEM TO CONSIST OF 9.5" TJI/Pro110s AT 24" O.C. 7/8" T & G APA RATED FOR 2" O.C. 2X4 BEARING WALL FRAMED IN LINE HANG JOISTS IN FOUNDATION

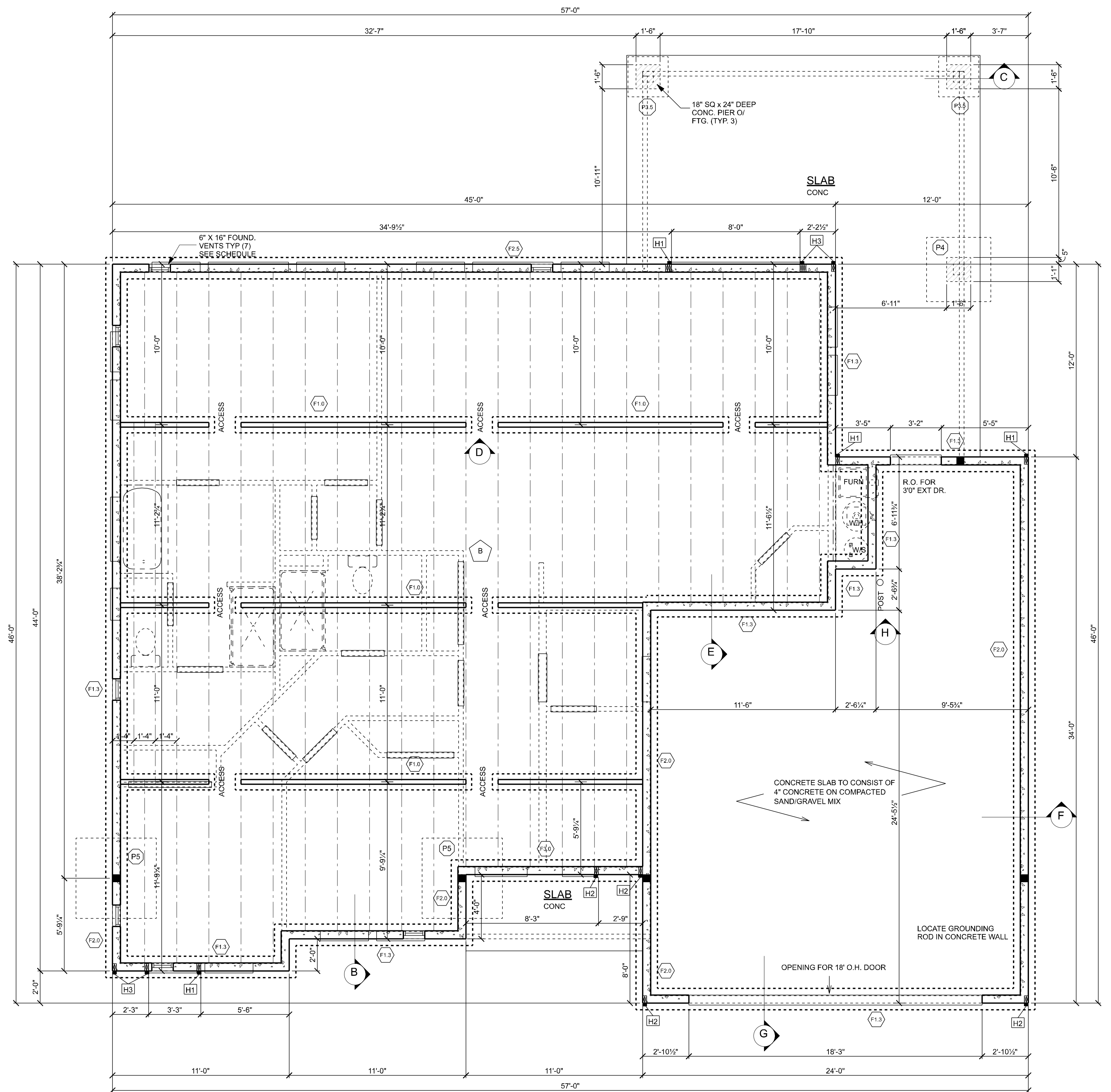


FOUNDATION SCHEDULE

MARK	WIDTH	LENGTH	DEPTH	REINFORCEMENT
F1	12"	CONT.	8"	(2) #4 CONT.
F1.3	16"	CONT.	8"	(2) #4 CONT.
F2	24"	CONT.	8"	(2) #4 EA WAY
F2.5	30"	CONT.	8"	(3) #4 EA WAY
F3	36"	CONT.	8"	(3) #4 EA WAY

FOUNDATION SCHEDULE

P3.5	42"	42"	8"	(4) #4 EA WAY
P4	48"	48"	10"	(4) #4 EA WAY
P5	60"	60"	10"	(6) #4 EA WAY



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



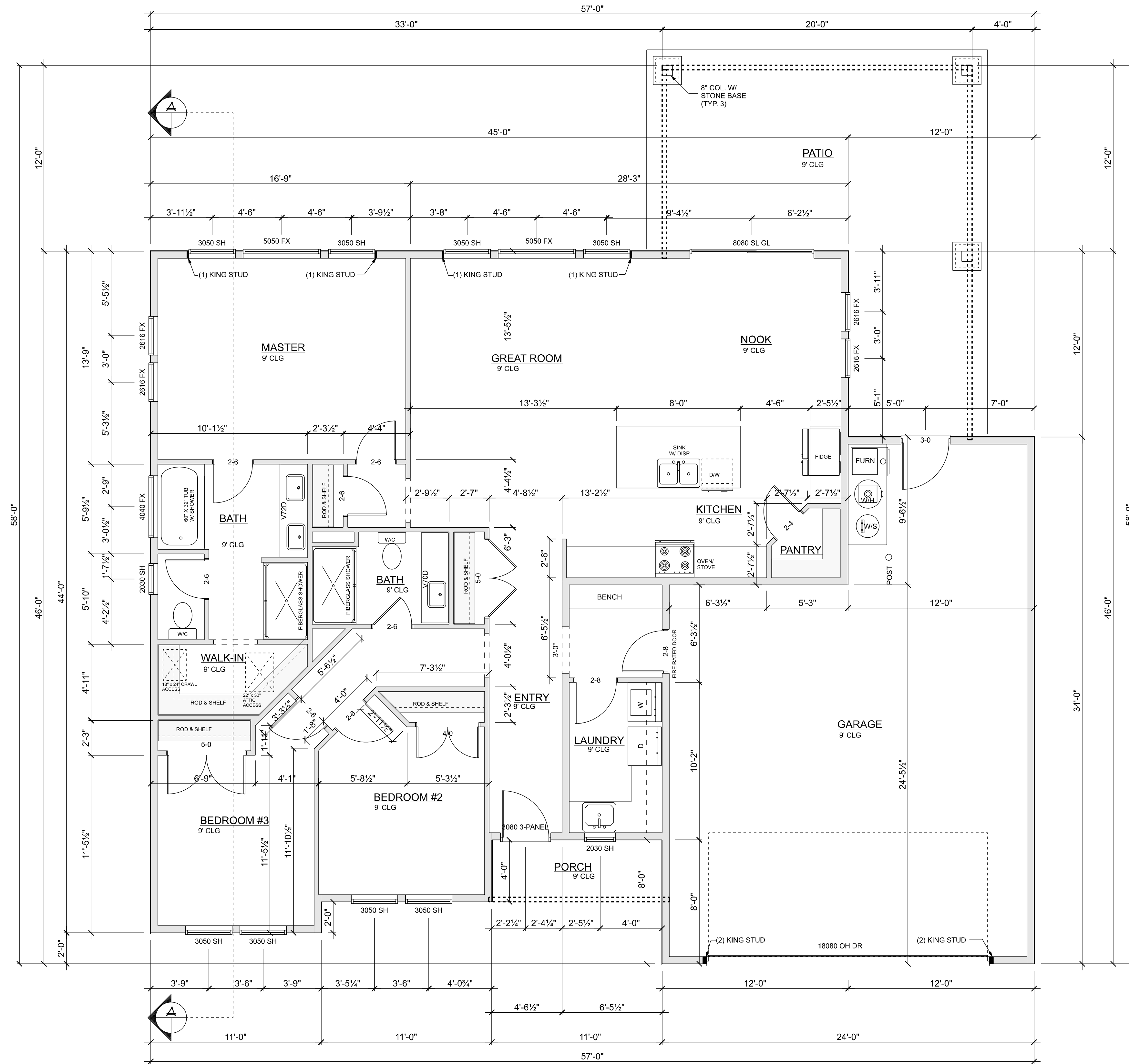
HEADER NOTE:

1. ALL LOAD BEARING HEADERS TO BE 4x8 / (2) 2x8 MIN. U.N.O.
2. ALL MAIN FLOOR EXTERIOR WINDOW HEADER HEIGHTS SHOWN AT 8'-0" A.F.F. U.N.O.
3. ALL MAIN FLOOR INTERIOR HEADER HEIGHTS TO BE FRAMED AT 8'-0" A.F.F. (TO BOTTOM OF HEADER) U.N.O.



PLATE HT
9'-1 1/8" 1ST FLR
UNLESS OTHERWISE NOTED

FLOOR AREA
SCALE 1/4" = 1'-0"
1617 SQ. FT. 1ST FLR
1617 SF TOTAL
707 SF GARAGE
336 SF PATIO
52 SF DECK



MAIN LEVEL FLOOR PLAN

SCALE : 1/4" = 1'-0" (FULL SIZE PLANS)

MEMBER
A I
BD
AMERICAN INSTITUTE OF
BUILDING DESIGNERS

DRAFTTECH
Turning Dreams into Plans
1334 E STATE STREET - EAGLE, ID 83616
(208) 887-1751

Drafttech, LLC
retains all rights and ownership
of design, plans and specifications

**HUNTER
HOMES**

**LOT 31 BLOCK 2
LICK CREEK**

SPECIAL ENGINEERING

FULL STRUCTURAL

ENGINEERING PERFORMED AND INDICATED ON PLANS

IF SPECIAL ENGINEERING IS REQUIRED, VERIFY ALL ENGINEERING WORK SHOWN ON PLANS PRIOR TO CONSTRUCTION.

PRELIMINARY DRAWINGS

REV 1	01-20-21
REV 2	01-25-21
REV 3	02-26-21

CONTRACTOR TO REVIEW DRAWINGS PRIOR TO BIDDING AND CONSTRUCTION. ANY ERRORS AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER/DESIGNER FOR CORRECTION.

FINAL DRAWINGS

REV A	04-26-22
REV B	06-21-22

CURRENT REVISION: **B**

DESIGNER: M. SMYTHE

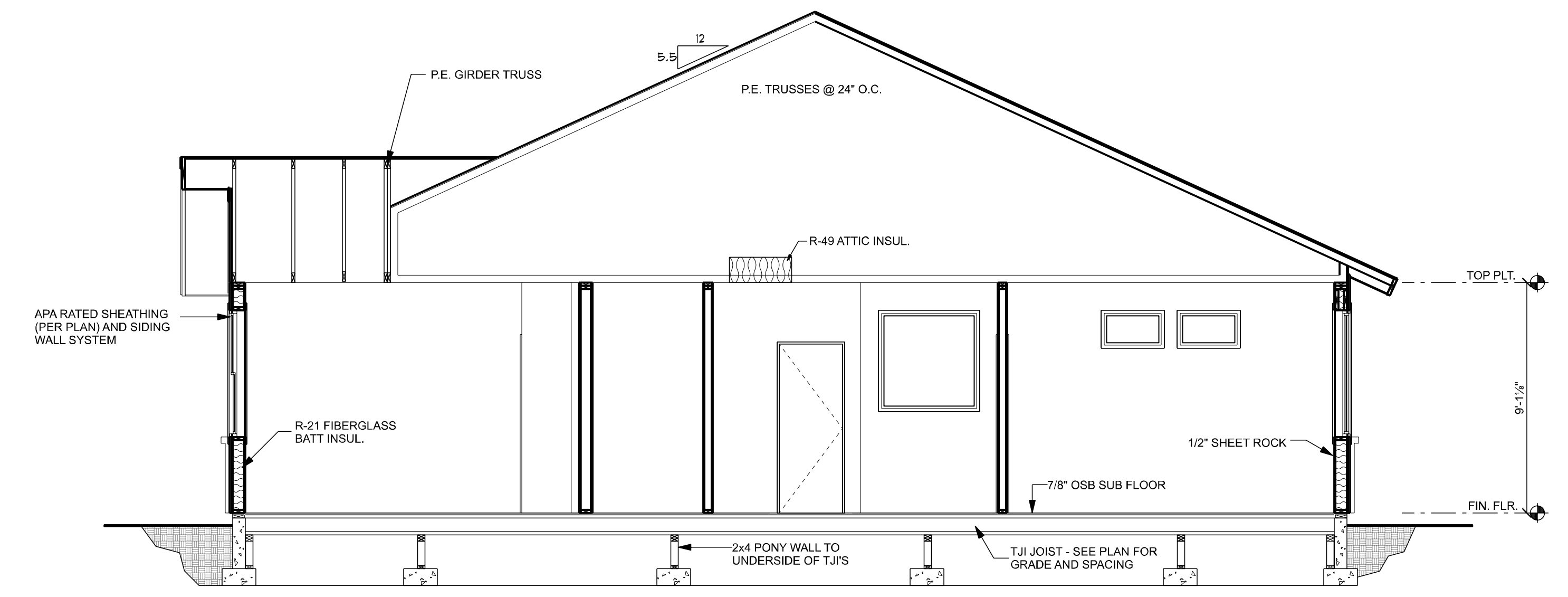
DRAFTSMAN: J. MAHAN

CHECKED BY: —

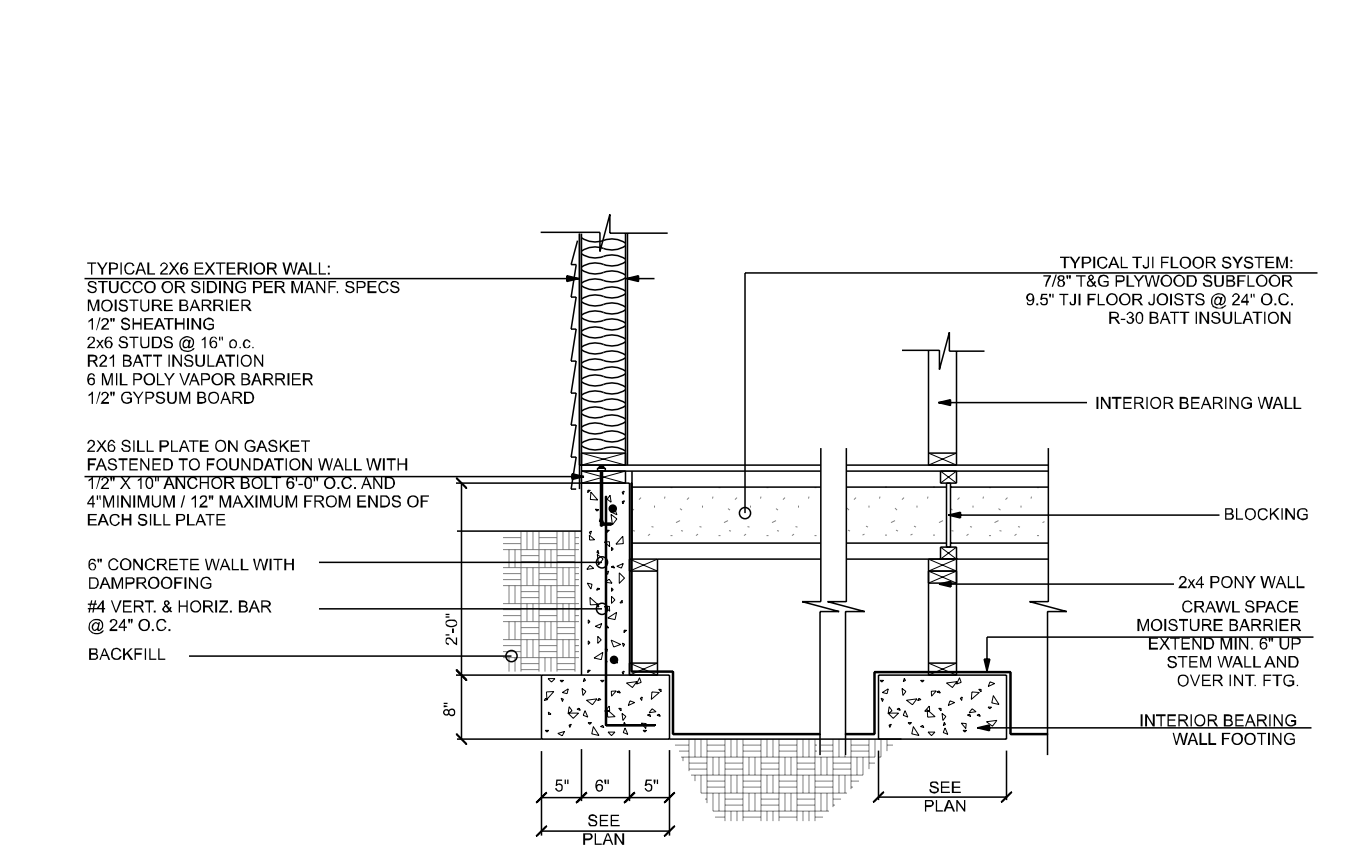
DRAWING: FLOOR PLAN

3

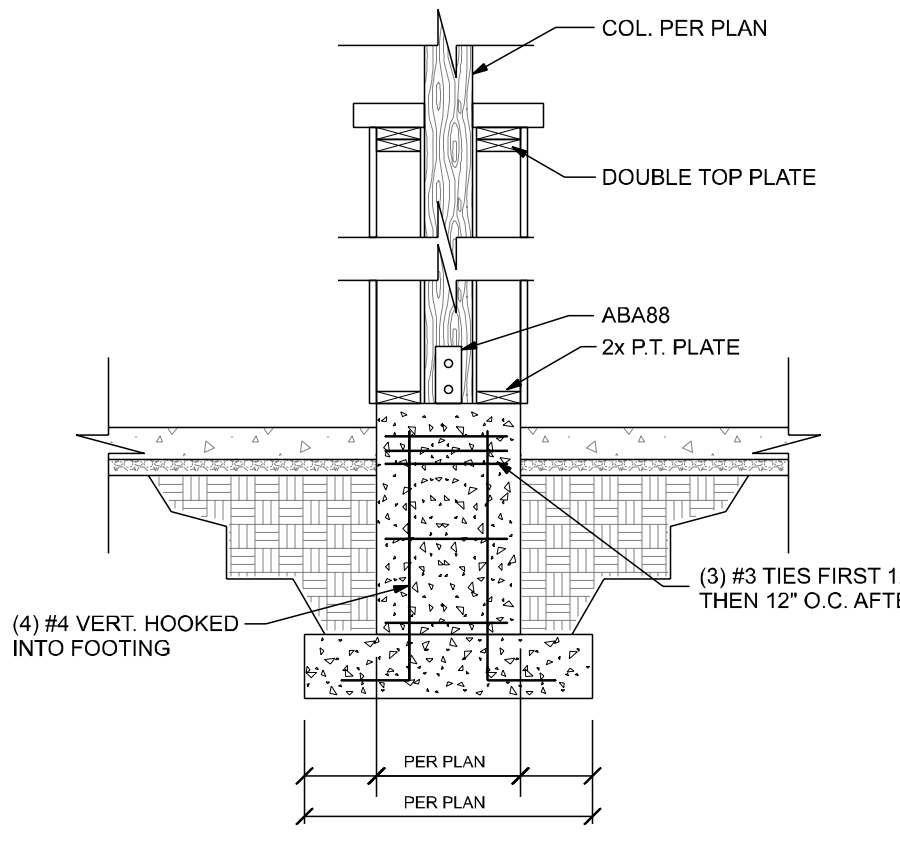




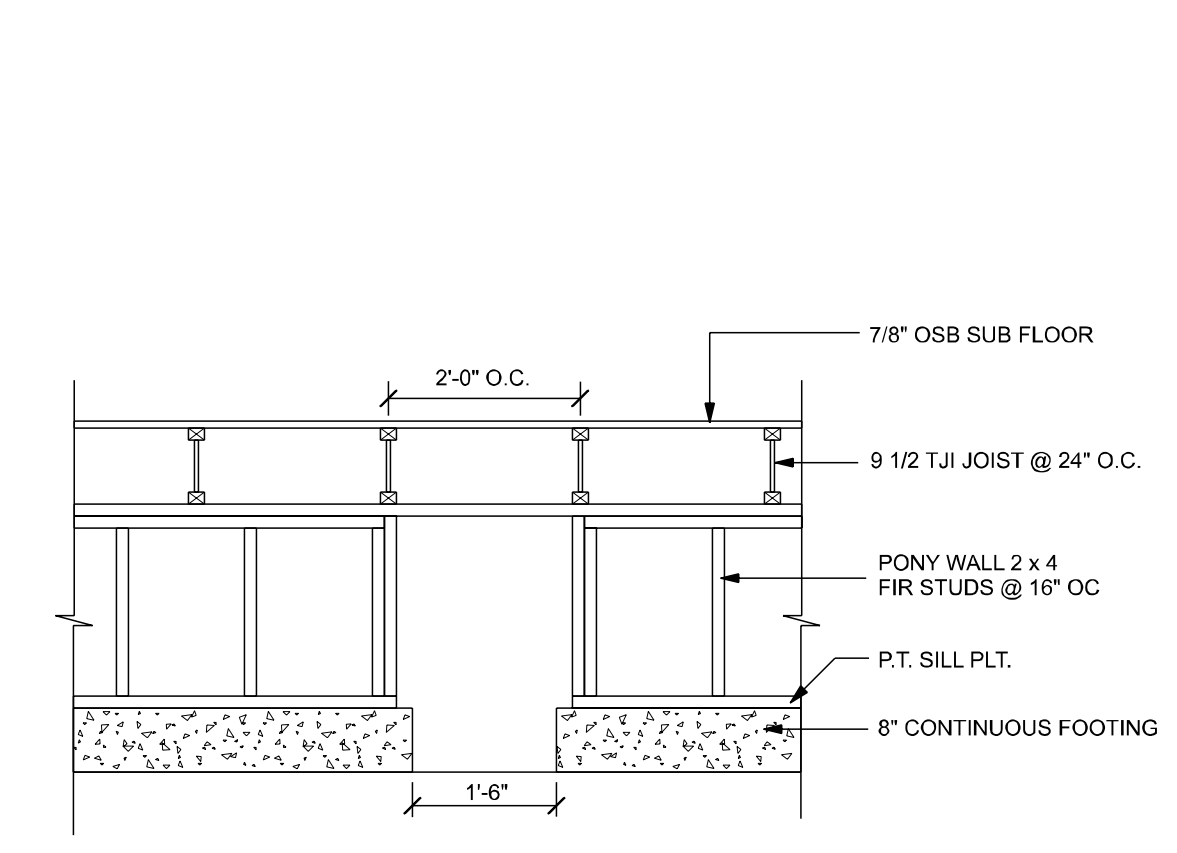
SECTION VIEW A
SCALE : 1/4" = 1'-0" (FULL SIZE PLANS)



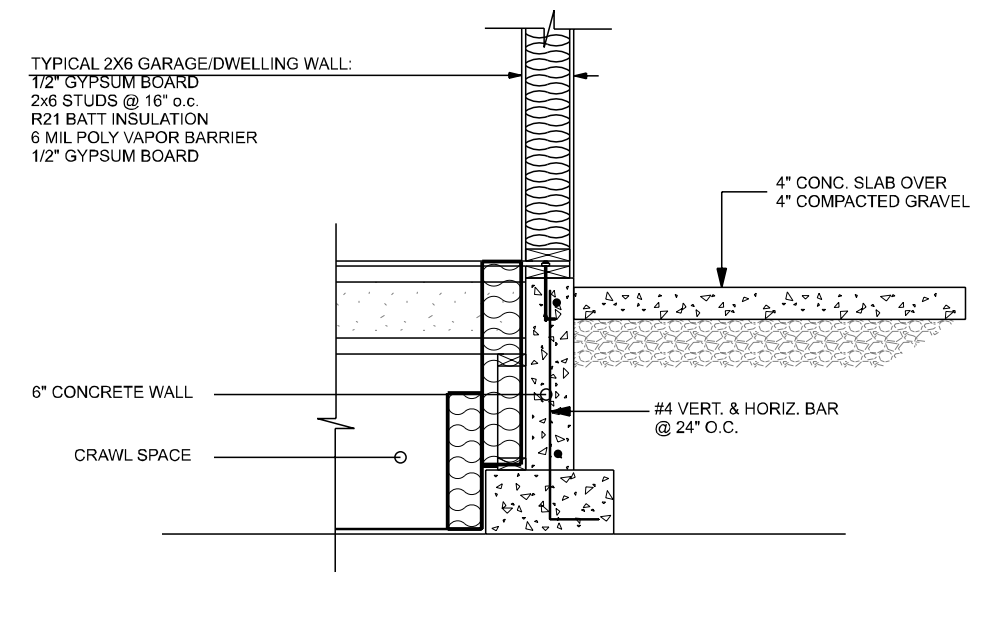
B CRAWL FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"



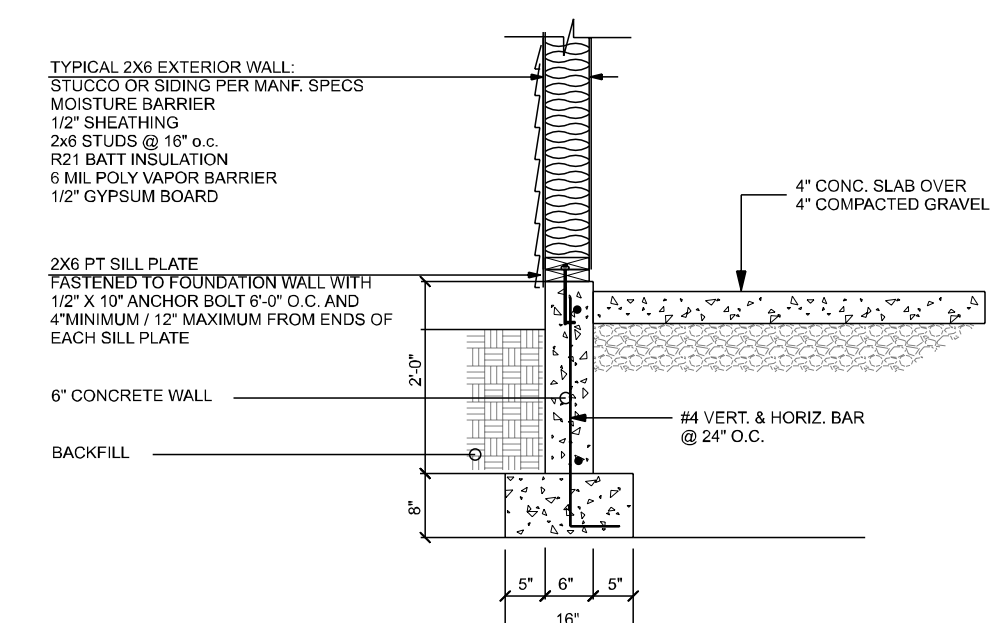
C PIER PAD DETAIL
SCALE: 1/2" = 1'-0"



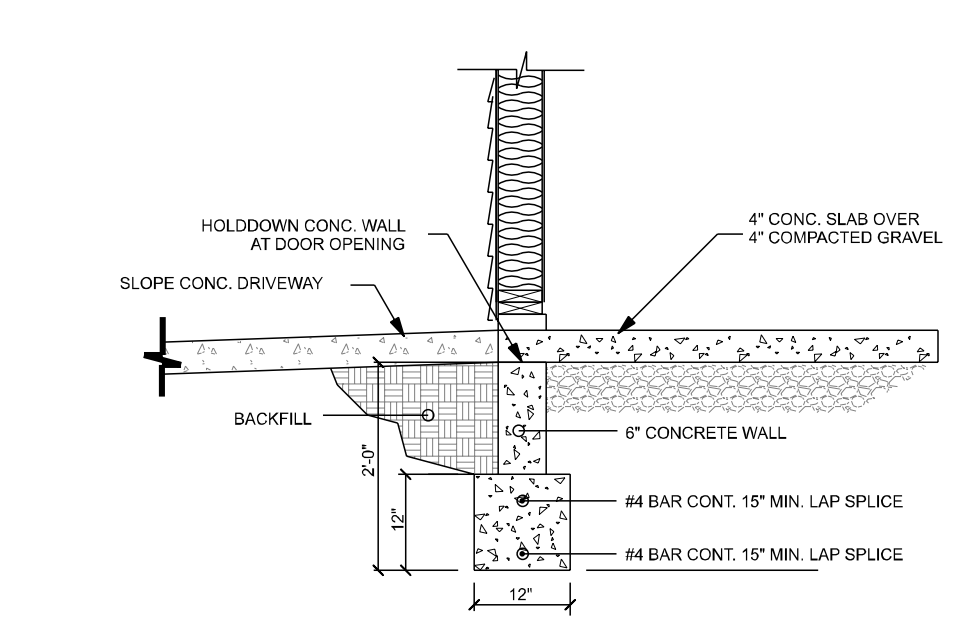
D PONY WALL ACCESS DETAIL
SCALE: 1/2" = 1'-0"



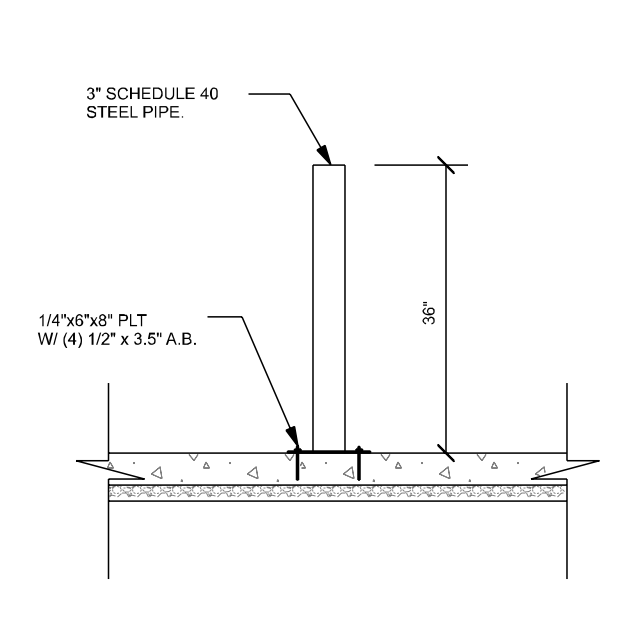
E GARAGE/DWELLING FIRE SEPARATION DETAIL
SCALE: 1/2" = 1'-0"



F GARAGE FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"



G FOUNDATION @ PORTAL FRAME W/ HOLDDOWN
SCALE: 1/2" = 1'-0"



H BOLLARD DETAIL
SCALE: 1/2" = 1'-0"

**SPECIAL
ENGINEERING**
 FULL STRUCTURAL

 ENGINEERING PERFORMED
AND INDICATED ON PLANS
IF SPECIAL ENGINEERING IS REQUIRED,
VERIFY ALL ENGINEERING AND NOTES
ON PLANS PRIOR TO CONSTRUCTION.

PRELIMINARY DRAWINGS

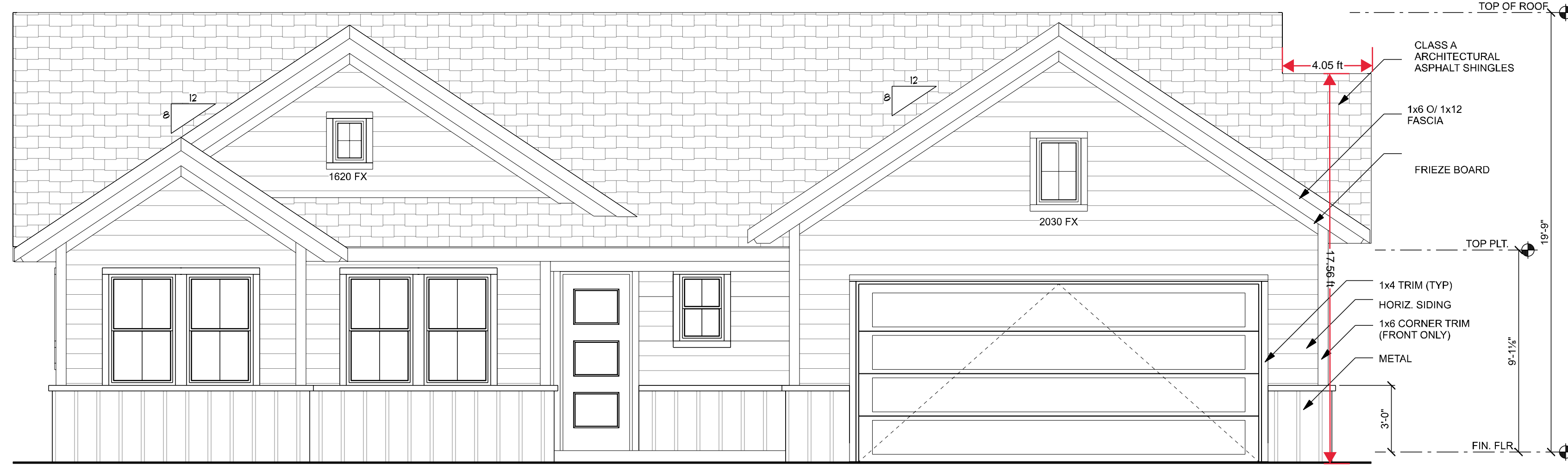
REV 1	01-20-21
REV 2	01-25-21
REV 3	02-26-21

FINAL DRAWINGS

REV A	04-26-22
REV B	06-21-22

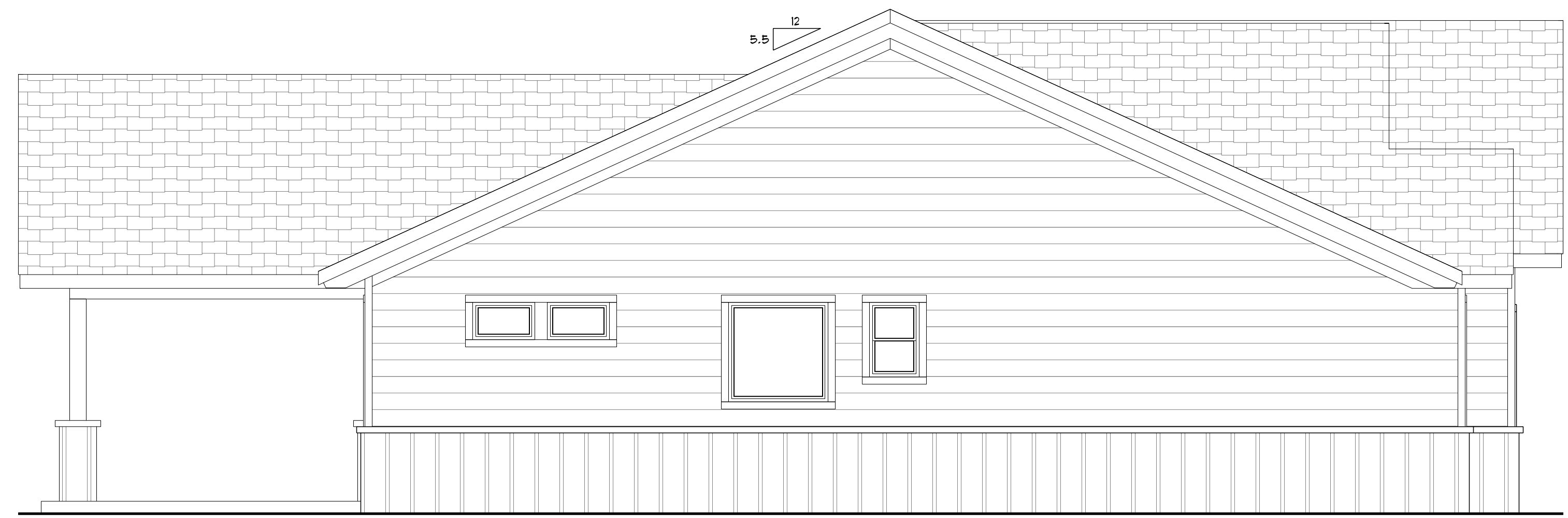
CURRENT REVISION: **B**
DESIGNER: M. SMYTHIE
DRAFTSMAN: J. MAHAN
CHECKED BY: —
DRAWING:





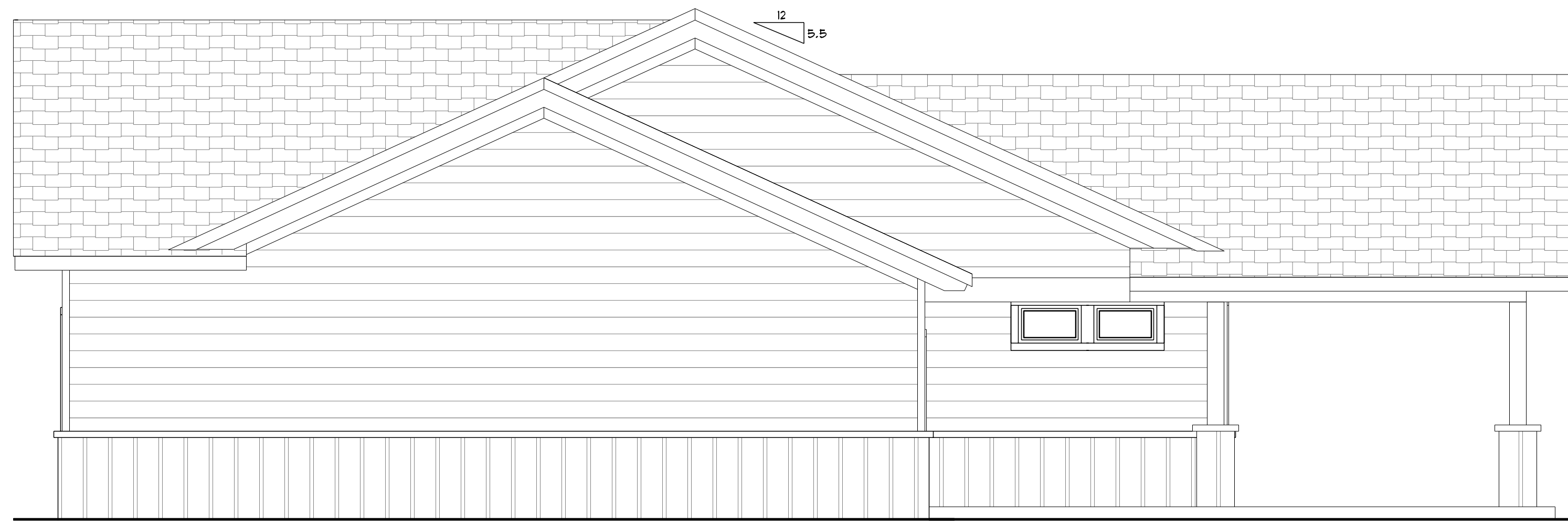
FRONT ELEVATION

SCALE : 1/4" = 1'-0" (FULL SIZE PLANS)



LEFT ELEVATION

SCALE : 1/4" = 1'-0" (FULL SIZE PLANS)



RIGHT ELEVATION

SCALE : 1/4" = 1'-0" (FULL SIZE PLANS)



REAR ELEVATION

SCALE : 1/4" = 1'-0" (FULL SIZE PLANS)

EXTERIOR NOTES:

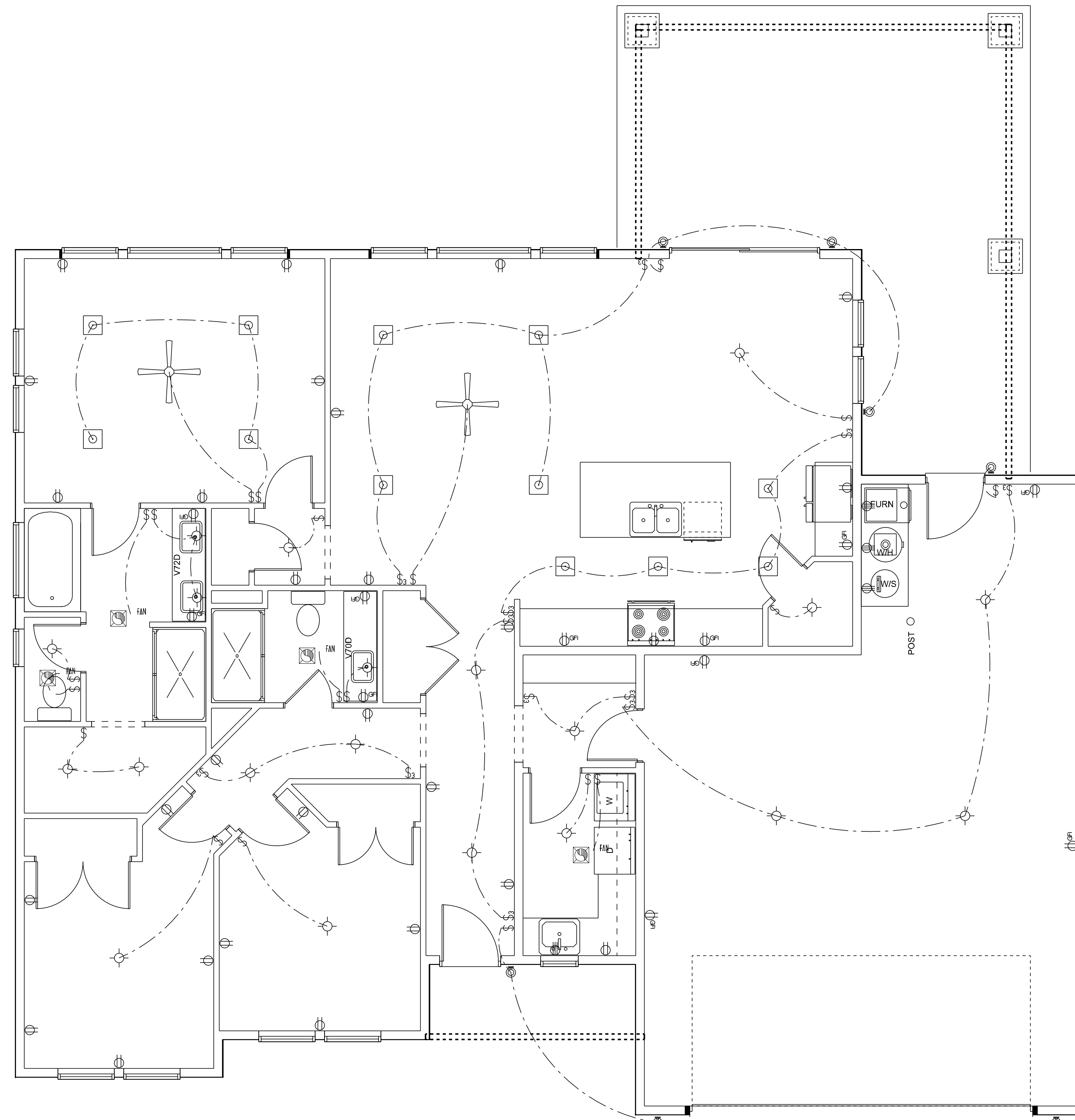
1. ALLOW 1 SQUARE FOOT OF VENTILATION AREA FOR EVERY 300 SQ FT OF VENTILATED SPACE.
2. MIN MASONITE SOFFIT BOARD AT ALL SOFFITS.
3. ROOF VENTS 1:300 PER R806.2 TYPICAL TO REAR OF RIDGELINE. MINIMUM OF 38 SQ IN. NET FREE AREA OF EACH.
4. GABLE END VENT MINIMUM 118 SQ IN. NET FREE AREA
5. PROVIDE 8" x 16" SCREENED SOFFIT VENTS OR 2" CONTINUOUS VENTING AS PREFERRED PER R806.2
6. VERIFY ALL MATERIALS AND ROOF PITCHES SHOWN IN THESE DRAWINGS WITH SUBDIVISION CC&R'S PRIOR TO CONSTRUCTION.
7. DO NOT SCALE ELEVATIONS. VERIFY ALL UNKNOWN DIMENSIONS WITH BUILDER OR DESIGNER PRIOR TO CONSTRUCTION.
8. INSTALL ALL EXTERIOR FINISHES PER MANUFACTURERS SPECIFICATIONS.
9. INSTALL SIDING AND BATTENS PER SEC. 703.5

ELECTRICAL LEGEND

- ⌘ 2 WAY ELECTRICAL SWITCH
 - ⌘⌘ 3 WAY ELECTRICAL SWITCH
 - ⌚ HALF HOT WALL OUTLET
 - ⌚⌚ DUPLEX WALL OUTLET
 - ⌚⌚ DUPLEX WALL OUTLET UNDER-COUNTER
 - ⌚⌚ WATER-PROOF GROUND FAULT INTERRUPT
 - ⌚⌚ SPECIAL PURPOSE OUTLET
 - ☎ TELEPHONE OUTLET
 - ⌚ CAT 5 OUTLET
 - 📺 TELEVISION
 - 🚬 SMOKE DETECTOR
 - ☠ CARBON MONOXIDE DETECTOR
 - ☼ CEILING LIGHT (SURFACE MOUNTED)
 - ⊙ INCANDESCENT CEILING LIGHT (RECESSED)
 - ⊙ INCANDESCENT WALL LIGHT
 - 🌀 FAN EXHAUST FAN (100 CFM KITCHEN MIN. / 50 CFM BATHROOM MIN.)
 - 🌀 CEILING FAN, OPTIONAL
 - 🏠 SCONCE
 - 🔧 HOSEBIB
 - 🌡 THERMOSTAT
 - ⚙ GAS GAS STUB
 - ▭ FLUORESCENT LIGHT
- ★ OUTLETS AND SMOKE DETECTORS ARE TO BE PLACED PER CODE

MECH & ELEC NOTES

1. FURNACE DUCTS FROM THE GARAGE INTO THE DWELLING ARE TO BE A MINIMUM OF 26 GA. GALVANIZED SHEET METAL WITH NO OPENINGS INTO THE GARAGE, FIRE STOP AND SEAL AROUND DUCT PENETRATION.
2. APPLIANCES GENERATING A SPARK, GLOW OR FLAME, INSTALLED IN GARAGES, MUST KEEP PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES A MINIMUM OF 18" ABOVE THE FLOOR.
3. DRYER, KITCHEN AND BATH FANS AND GAS FIRED WATER HEATERS ARE TO BE VENTED TO THE OUTSIDE AND DISCHARGE AT LEAST 3 FEET FROM ANY OPENINGS INTO THE BUILDING.
4. ALL PLUMBING VENTS TO REAR OF RIDGE.
5. ALL FUEL BURNING APPLIANCE MUST HAVE COMBUSTION AIR FROM OUTSIDE.
6. ELECTRICAL & SERVICE RECEPTACLES AND MECHANICAL REGISTERS SHOWN AT APPROXIMATE LOCATIONS.
7. SET ELECTRICAL & SERVICE RECEPTACLES AT 1'-6" A.F.F. TO CENTER OR AS NOTED.
8. SET ELECTRICAL & SERVICE RECEPTACLES AT KITCHEN 3'-10" A.F.F. TO CENTER.
9. SET ELECTRICAL (GFI) & SERVICE RECEPTACLES AT GARAGE 3'-10" A.F.F. TO CENTER.
10. GFI ELECTRICAL RECEPTACLES AT BATH 3'-6" A.F.F. TO CENTER.
11. ELECTRICAL RECEPTACLES FOR FREEZER NOT A GFI LABEL.
12. DRYER TO VENT THROUGH ROOF ON ONE STORY PLANS AND TO SECOND FLOOR JOIST AND OUT SIDE WALL ON TWO STORY PLAN
13. MINIMUM OF ONE HOSE BIB TO BE ALIGNED WITH INTERIOR WALL AND SET MINIMUM OF 2'-0" ABOVE GRADE
14. ELECTRICAL SERVICE METER 6'-0" AWAY FROM CORNER.
15. SMOKE/ CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER IRC R314 AND R315.



ELECTRICAL PLAN

SCALE : 1/4" = 1'-0" (FULL SIZE PLANS)
SCALE : 1/8" = 1'-0" (HALF SIZE PLANS)

City of McCall

216 East Park Street
McCall, Idaho 83638
P: (208) 634-7142
F: (208) 634-3038

SCENIC ROUTE INFORMATION



Any structure or a portion thereof which may be visible when traveling along the roadways listed below, and any part of which is located on a lot, any portion of which is within 150 feet of the nearest right-of-way line of a road named in this Section, shall be subject to both Scenic Route and Design Review. Please refer to the Design Review checklist for materials that must be submitted with that application.

The following materials must be submitted with your Land Use Application:

- Fee: \$300; checks payable to the City of McCall
- Please indicate the improvements anticipated in the change, whether or not to be owned by the public, on your Land Use Application:
 - land clearing (tree cutting)
 - grubbing (topsoil removal)
 - signs
 - excavation (digging and/or filling)
 - building construction
 - parking improvements

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission.

The Scenic Route Zone includes:

One hundred fifty (150) foot wide strips of land bounded by the right-of-way lines of the following named streets, and by lines parallel to and 150 feet away from such right-of-way lines, together with any right-of-way not part of the roadway:

1. State Highway 55, from the southern boundary to the northern boundary of the Impact Area (Third Street and Lake Street).
2. East Side Road and East Side Drive from Lick Creek Road to Warren Wagon Road.
3. Warren Wagon Road to the northern boundary of the Area of City Impact.
4. Lick Creek Road from the intersection of Spring Mountain Boulevard east to the eastern boundary of the Impact Area.
5. Spring Mountain Boulevard from Deinhard Lane to Lick Creek Road.
6. Deinhard Lane from 3rd Street (Highway 55) to Spring Mountain Boulevard and from 3rd Street (Highway 55) to Boydston Street.
7. Boydston Street from Deinhard Lane to West Lake Street (Highway 55).
8. Mission Street and Norwood Road to boundary of the Area of City Impact.
9. West Valley Road, Wisdom Road, and West Mountain Road extended to the western or southern boundary of the Area of City Impact.

Exceptions: Scenic Route Approval will not be required for the following building or site modifications (although a building permit may be required)

- a. interior remodeling of a structure which does not impact the exterior appearance of the structure or significantly impact the parking, landscaping or other exterior uses of the property.
- b. repairs to an existing building if the outward appearance is not significantly changed.
- c. improvements to or maintenance to an existing building or site where these do not significantly impact the outward appearance of the building or site.

Criteria:

The Commission shall ascertain whether the proposed development, improvement, or use will:

1. Block or disrupt the visibility of significant views or features.

2. Be compatible (in terms of setback, bulk, height, design, finish materials, signing and landscaping) with its immediate surroundings and the desired visual quality of the scenic route.

Requirements for Development

Prior to the issuance of a building permit, and prior to any clearing, grubbing, excavation, or other construction (including removal of any existing structures or improvements), the owner shall apply to the Commission for approval of a site plan. A building permit shall neither be issued, nor any such work or construction undertaken, until approval of the site plan and design approval of proposed structures in accordance with Chapter 16.

The maximum height for any structure is 35 feet in the Scenic Route zone. All structures in subdivisions platted after (date of adoption) are to be setback from the property line not less than 75 feet, except that where the lot is within any residential zone or commercial zone, the setbacks provided for such Zone shall govern instead. The setback requirements for parcels along South Third Street (Highway 55) from Deinhard Lane to the south boundary of the Impact Area are as follows:

1. Adjacent to, or within, 300 feet of a street intersection, the setback will be ten (10) feet.
2. Otherwise, the setback will be 35 feet.

Timber harvesting. The existing forest in the McCall Area is considered a public resource, important to the character of the Planning Jurisdiction and its tourist economy. Prior to the issuance of a relevant building permit, the harvesting of timber shall be limited to dead, dying or damaged timber. Slash shall not be accumulated or piled within view of the roadway. Following issuance of a relevant building permit, tree removal is additionally permitted within the area of the building footprint, other structures, driveways, and other improvements, and in accord with § 3.8.04 *Fire Hazard Mitigation Standards*. Development of the lot should endeavor to preserve standing, healthy trees outside the area occupied by improvements, lawn not being considered an improvement for these purposes. Landscaping shall replace trees harvested or removed.

Access roads. Access roads in subdivisions and re-subdivisions platted after (date of adoption) will be kept to a minimum. Every subdivision platted after (date of adoption) shall provide an interior roadway providing access to each lot, which interior roadway shall connect to the Scenic Route at a single point of access, as is the case with Lucks Point Subdivision, for example, except as the Fire Chief may require an additional access. The intersections of any two access roads with the Scenic Route in the Impact Area and any portion of the Planning Jurisdiction that was in the Impact Area on (date of adoption), shall be no closer than one thousand feet to each other. Where the entire frontage of a parcel on the Scenic Route on (date of adoption), is less than one thousand feet from the intersection of its side boundaries with the right of way, and if an agreement with adjacent property owners for a common property line point of access is not reached after bona fide effort, that shorter distance between intersections is permitted which is consistent with a minimization of points of access. Direct driveway access shall be discouraged to the Scenic Route in the Impact Area.

Inside the City Limits within existing subdivisions where individual lots with Scenic Route right-of-way as a lot boundary cannot obtain access to the public road from a road interior to the subdivision, direct access onto the Scenic Route may be allowed, provided that the driveway distances in the applicable zone shall apply. In such cases, common driveways on common lot lines, thus two driveway accesses per four (4) lots, may be required.

Bike paths. Some or all of the routes listed in § 3.7.031 are designated by the Parks and Recreation Master Plan (see the *McCall Pathways Master Plan, 2012*) to have a bike path, walkway or other recreational routing along side, or as a part of the scenic route. Where such designation exists, the Commission shall assist in the effectuation of the *Master Plan* by the exaction of recreational easements or dedication of additional right-of-way or other techniques to ensure a continuous route for such uses. In all cases the City must show that such exaction is roughly proportional to the impacts of the development and that the conditions for implementing portions of the bike paths are to be based upon an individualized determination for each development that the conditions are related to both the nature and extent of such impacts.

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142

LAND USE APPLICATION



Date Received: _____

Fees Paid: _____

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # _____ Record of Survey (ROS) - \$420
- # _____ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # _____ Scenic Route (SR) - \$300
- # _____ Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Development Agreement - \$500
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: Hunter Homes INC Email: hunterhomes8@gmail.com
Mailing Address: Box 1418 EAGLE ID 83616 Phone: 208-573-1040
Property Owner 2 (If Applicable): X Email: X
Mailing Address: X Phone: X

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Steve EDWARDS Email: hunterhomes8@gmail.com
Mailing Address: Box 1418 EAGLE ID 83616 Phone: 208-573-1040

PROPERTY INFORMATION

Address(es) of Property: 1021 Kaitlyn Loop
Legal Description of Property: LOT 31 BLOCK 2 Lick Creek Meadows Sub
Zoning District of Property: _____ Project Sq. Footage (If Applicable): 1988
Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

Payette Lakes Water and Sewer District or Septic System or not applicable

PROJECT DESCRIPTION

Explain the general nature of what is proposed: (please attach supplemental information if needed)

BUILD A NEW SINGLE-FAMILY HOME.

SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

The submittal items identified in the application info sheets are the minimum required materials for the City to accept applications. The City Planner may require additional information based on the specific circumstances of each proposal.

Hunter Hemes INC

Property Owner 1

Steve Edwards

Signature

X

Property Owner 2 (If Applicable)

X

Signature

Steve Edwards

Agent/Authorized Representative

Steve Edwards

Signature

FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Surveyor

Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.



City of McCall

FINANCE

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-7142

Fax 208-634-4493

APPLICATION AND CONTRACT FOR WATER UTILITY SERVICE

For Office Use Only:
New Owner Account #: _____

Application Date: 6-6-22

Service Effective Date: _____

Owner's Name(s), Mailing Address & Contact Info:

Hunter Homes INC
P.O. Box 1418
EAGLE ID 83616
Phone No.: 208-573-1040
Phone No.: 208-573-1451
Fax No.: _____
E-Mail Address: hunterhomes8@gmail.com
Social Security Number: _____

Service Address:

1021 Kaitlyn Loop
Send Bill To: Owner Authorized Agent
Owner's Authorized Agent's Contact Information
Name: Hunter Homes INC
Address: P.O. Box 1418
Eagle ID 83616
Phone/Email: 208-573-1040

Form of Deposit:

Automatic Payment Authorization: _____ Attach Voided Check
Credit Letter of Reference: _____ Utility Company & Date Received: _____
Deposit Amount Received: \$ _____ Date: _____

Terms and Conditions

Owner ("Applicant") hereby requests that the City of McCall (the "City") provide utility services. Applicant agrees to pay for the services at the rate, at the time and in the manner required by the McCall City Code and rate resolutions of City Council. Pursuant to McCall City Code there is no reduction in monthly water base rate fees while the water meter is shut off. If the provisions of this contract and the provisions of the McCall City Code conflict, the McCall City Code shall govern. The City has the right to impose and enforce the penalties provided in such code for non-payment and untimely payment, and to change the rate at any time. The City will make reasonable efforts to notify applicant of rate changes through legal publication in the Star News but the absence of receipt of such notice shall not waive the City's right to collect the new rates. The City may at its option install such meters, meter reading devices and other devices it deems necessary to control and measure the quantity of water supplied. Supply of water services is subject to the provisions of the McCall City Code. The City is neither responsible nor liable to the applicant for any damage that may be caused to applicant or applicant(s) property by any failure of the water system that occurs in the building(s) and the City water shut-off valve. The City is not liable to the applicant for the consequences, if any, of reductions or interruptions in water supply caused by construction, power failure, fire suppression, repairs, shut-off by reason of non-payment of rates, or otherwise, nor shall any of the same reduce or eliminate applicant's obligations to pay the rates. The failure to receive a bill does not diminish or eliminate applicant's obligation to pay the rates.

Applicant's obligation to pay the rates continues until such time that a transfer of ownership of the premises is recorded at the County Recorder's Office, or until a replacement owner/applicant of the same premises applies for service and completes a contract for service, and such new application is approved by the City.

Applicant agrees that only a representative of the City be allowed to turn on or off any City utility service. The Applicant further agrees to take no action to obstruct, cover meters or shut off devices or otherwise prevent the City's authorized representative from making

Application and Contract for Utility Service (Continued)

records, readings and inspections of the location, condition and sufficiency of pipes, fittings, valves, cocks, fixtures and appliances. Applicant agrees to grant free access to the City's authorized representative during reasonable hours to carry out such official duties necessary for the proper operation and maintenance of the water system. Denial of access to or any physical or verbal abuse of any employee carrying out such duties shall entitle the City to discontinue service to the applicant, among other remedies.

Each applicant desiring water, services shall pay a refundable deposit to the City in an amount equal to the expected billings for such service(s) for three months at the premises desired to be served. The City Treasurer shall determine this amount and such deposit shall be required unless the applicant has had with the City, within the past two (2) years, one or more accounts for utility service, in his own name, and has had satisfactory payment record for the last twelve (12) months such accounts(s) was (were) in effect or the applicant may provide a letter or copies of bills from another utility for 12 months of current service with such utility showing a "satisfactory payment record", or the applicant agrees to maintain automatic payment of their water service bills for a minimum period of twelve months with a "satisfactory payment record". Failure to maintain a "satisfactory payment record" during the first twelve months of automatic payment of water service bills for a minimum period of twelve months with a "satisfactory payment record" will require that the applicant shall immediately pay such deposit in order to maintain service. A "satisfactory payment record" shall be defined as one in which all payments were made on or before the date due, for all accounts in effect during the aforementioned twelve (12) months

If the property is rental property, the owner must sign this contract. If the owner has a legally authorized agent, both the owner and the agent must sign this contract; provided, however, naming an authorized agent shall not relieve the owner of the duty to pay all utility services charges.

This contract was agreed to and executed in Idaho, and Idaho law governs its interpretation. The District Court of the State of Idaho, in and for Valley County shall have exclusive jurisdiction over any litigation arising under this contract or dealing with the matter of utility services at the service address. The Applicant agrees as a condition of receiving such service, to waive any right to appear in District Court to settle a dispute arising from such service, unless he or she first complies with the administrative procedure set forth in McCall City Code Section 6-4-260.

Applicant acknowledges and agrees that if credit is extended to it by the City, it shall pay any and all amounts due the City within twenty-five (25) days of the date of each respective invoice provided by the City. The Applicant further acknowledges and agrees that delinquent accounts will be subject to penalties and service charges. Pursuant to the McCall City Code, penalty is 10% of the amount past due, and service charge is 1.5% monthly. Applicant shall be liable for all costs of collection of delinquent payments due the City, including reasonable attorneys' fees (whether or not a suit is brought), out-of-pocket expenses, court costs and any collection fees charged by a collection agency used by the City. Once a payment plan is in effect, missing one payment will result in immediate shut off. Utility services will only be turned back on when all of the following has been remitted to the City - the balance is paid in full, a deposit of 125% of three (3) months of base rate, turn off and turn on fees. Situations with extenuating circumstances will be addressed on a case by case basis.

Pursuant to McCall City Code section 6-4-280, it shall be unlawful for any person who is not the legal owner of a specific parcel of real property, receiving or requesting municipal utility services for such real property, to represent upon an application for utility services or contract that such person is the legal owner of the real property for which utility service is being requested; nor shall a person make any other false representation for the purpose of receiving such services. Violation of this section shall be considered a misdemeanor and shall be prosecuted as such.

If an owner has hereby designated an Authorized Agent, such Agent shall be deemed by the City, to be authorized by said owner to act on behalf of said owner in all matters relating to this contract for utility services. The City shall presume that said Owner's agent is acting in the best interest of Owner, and with Owner's full knowledge and consent with respect to all matters and business conducted pursuant to this contract. All billings, notifications, correspondence, and other business dealings between Owner's Authorized Agent and the City shall have the same legally binding effect as if the City were transacting said matters or business directly with the property owner. Before a person can serve as authorized agent, such person must be in the business of, and regularly engaged or employed as a professional leasing agent or property manager.

_____ Signature of Owner	_____ Date	_____ Signature of Authorized Agent
_____ Signature of City's Authorized Representative	_____ Date	



PAYETTE LAKES RECREATIONAL WATER AND SEWER DISTRICT

201 Jacob Street • McCall, Idaho 83638 • office 208-634-4111 • fax 208-634-7613

RECEIVED

By Brian Parker at 3:08 pm, Jul 19, 2022

July 19 2022

Brian Parker
City of McCall
216 East Park Street
McCall, Idaho 83638

Ros-22-10-1021 Kaitlyn Loop

Brian:

Payette Lakes Recreational Water and Sewer District (District) has reviewed the proposed project at the above referenced address, and has the following comments.

1. There is a sewer service connection for the existing structure or lot and manhole(s) in the area of construction, the sewer service connection and manhole(s) shall be protected from damage during demolition of the existing structures and construction of the proposed structure to prevent excessive water, or debris from entering the sewer system. Failure to do so will result in the owner/contractor being responsible for any cost incurred by the District for cleaning or removing debris that enters the sewer system.
2. Purchase of a sewer connection permit will be required before a building permit is issued and construction begins.
3. Inflows of surface water and excessive infiltration are prohibited. Such prohibited sources of inflow shall include, but not be limited to, the following: Heating, cooling, or water system discharges in excess of one thousand gallons per day, storm water connections, sub-water drains, floor drains located within garages, foundation drains, roof drains, swimming pools, street drains, basement drains, sump pumps and abandoned sewer lines.
4. The owner/contractor shall notify the District two (2) business days before connection to the sewer stub.

Please contact me should you have any questions.

Best Regards,

A handwritten signature in blue ink, appearing to read "Jeff Bateman", with a long horizontal flourish extending to the right.

Jeff Bateman
Manager, Payette Lakes Recreational Water and Sewer District
Email: jbateman@plrwsd.org

Meredith Todd

From: Morgan Stroud
Sent: Monday, August 1, 2022 8:22 AM
To: hunterhomes8@gmail.com
Cc: Brian Parker; Meredith Todd
Subject: SR22-10 - 1021 Kaitlyn Loop - Engineering Review
Attachments: 6.9.22_Water Infrastructure Sizing_Residential.xlsx

The Public Works Department has reviewed the project **SR22-10** and has the following comments.

1. The maximum allowable driveway width for single family homes is 20 feet. Please update your site plan to show the driveway width reduced from 24 feet to 20 feet.
2. A minimum of a 12" diameter, smooth interior, double walled culvert will need to be installed under the driveway. Our standard detail regarding driveways and approaches (MSD-818) can be found at the following link: <https://www.mccall.id.us/media/PWORKS/Engineering/Streets%20-%20All%20Standard%20Drawing%20Package.pdf>
3. It appears that a water meter pit is already installed as a dual meter pit with 1023 Kaitlyn Loop to the east. Please fill out this water infrastructure sizing sheet to help size the water meter for this home properly. Once filled out, please send it back to me.
4. An approved Stormwater Report is in place for the Lick Creek Meadows Subdivision. All work performed on this project shall be in accordance with the approved Stormwater Report, including placement and continuous maintenance of temporary stormwater runoff and erosion control measures during construction.
5. Please submit a filled out and signed stormwater application to me that identifies who the responsible party for the temporary erosion control measures will be.
 - a. Stormwater Application: <https://evogov.s3.amazonaws.com/141/media/115535.pdf>
6. A Public Works Permit will need to be obtained prior to building permit issuance for the driveway onto **Kaitlyn Loop** and any work regarding the water infrastructure. More information about the Public Works Permit can be found at this link: <https://www.mccall.id.us/public-works-permit#:~:text=City%20of%20McCall%20Public%20Works,the%20city's%20water%20meter%20pits>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Thank you,



McCall Public Works

Morgan Stroud, E.I.T.
Staff Engineer
(D) 208.634.3458
(C) 208.315.2299
www.mccall.id.us/engineering

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
DOMINGUEZ LOT LINE) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
ADJUSTMENT) **AND DECISION**
Record of Survey)
)
Application Number:)
ROS-22-06)

FINDINGS OF FACTS

Applicant: Stephen Dominguez

Representative(s): Joel Droulard

Application: An application for a Record of Survey to combine Lot 4 of Block 7 of the Amended State Subdivision (10,719 square feet at present) with Tax Parcel no. 248 (4,558 square feet at present), and adjust the current property boundary between Tax Parcel no.248 and Lot 5 of Block 7 (18,416 square feet at present) of the State Subdivision Cove Replat to result in 2 new lots from the existing 3. The 2 resulting lots will total 19,373 square feet and 14,157 square feet, respectively.

Location: Lot 4 of Block 7 and Lot 5 of Block 7 of the State Subdivision - Cove Replat, and Tax parcel no. 248, situate in Section 3, T18N, R3E, B.M., Valley County, Idaho.

Property Address: 2051 Plymouth Court

Public Notices: This application was placed on the McCall Area Planning and Zoning Commission’s consent agenda, thereby waiving public noticing requirements. This was done pursuant to McCall City Code section 9.1.05(B)(2), which states that the administrator may waive the application of some provisions.

Zoning: R4 – Low Density Residential

Property Size: 0.77 acres (33,530 square feet)

APPROVAL STANDARDS

Title 9, Chapter 1

Record of Survey

To be eligible for processing under the Record of Survey Procedure, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out below:

A lot line adjustment between two (2) or more existing adjacent parcels, provided:

- (1) No additional parcels or building sites have been created, and**
- (2) The adjustment does not create the potential to further divide either of the two (2) parcels into more parcels than would have been otherwise possible, and**
- (3) There are no resulting violations of this title or title III of this code.**

The proposed record of survey is a lot combination and lot line adjustment which will not create additional parcels, will not create the potential to further divide either of the parcels beyond what is otherwise possible, and does not violate McCall City Code Titles III or IX.

DEPARTMENT/AGENCY COMMENTS

McCall Public Works

On June 27, 2022, the City of McCall Staff Engineer issued final engineering approval for the subject application.

Valley County Cadastral

On June 17, 2022, the Valley County Cadastral Specialist had the following comment:

“We will need to see recorded deeds to complete this application at the county level.”

Public –

No public comment has been received.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Record of Survey applications, pursuant to Title 9, Chapter 1 of McCall City Code.
2. The proposed project is eligible for the Record of Survey process as a lot combination and lot line adjustment.
3. The proposed project meets the dimensional standards for lots in the R4 zone, per Title 3, Chapter 3, McCall City Code.
4. Upon compliance with the conditions noted below, the application meets the Record of Survey Procedure requirements set forth in Title 9, Chapter 1 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Record of Survey application, provided that the following conditions are met:

1. The applicant shall record the survey with the following note(s) on the face of the plat:

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

2. The applicant shall provide the City with a .PDF copy of the recorded survey and recorded legal description immediately upon recordation.

3. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

Findings of Fact **adopted** this 2nd day of AUGUST, 2022.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
SCHADE LOT LINE) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
ADJUSTMENT) **AND DECISION**
Record of Survey)
)
Application Number:)
ROS-22-07)

FINDINGS OF FACTS

Applicant: Estate of Conrad Schade

Representative(s): Fredlyn Wideman

Application: An application for a Record of Survey to Adjust the lot line between two lots of record to correct the encroachment of an existing structure over a lot line.

Location: The N'rly and S'rly portions of McCall Acreage Tax Parcel No. 38, situate in the SE ¼ of the SW ¼ of Section 3, T18N, R3E, B.M., Valley County, Idaho.

Property Address: 925 Lick Creek Road

Public Notices: This application was placed on the McCall Area Planning and Zoning Commission's consent agenda, thereby waiving public noticing requirements. This was done pursuant to McCall City Code section 9.1.05(B)(2), which states that the administrator may waive the application of some provisions.

Zoning: R4 – Low Density Residential

Property Size: 0.56 acres (24,299 square feet)

APPROVAL STANDARDS

Title 9, Chapter 1

Record of Survey

To be eligible for processing under the Record of Survey Procedure, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out below:

A lot line adjustment between two (2) or more existing adjacent parcels, provided:

- (1) No additional parcels or building sites have been created, and
- (2) The adjustment does not create the potential to further divide either of the two (2) parcels into more parcels than would have been otherwise possible, and
- (3) There are no resulting violations of this title or title III of this code.

The proposed record of survey is a lot line adjustment which will not create additional parcels, will not create the potential to further divide either of the parcels beyond what is otherwise possible, and does not violate McCall City Code Titles III or IX.

DEPARTMENT/AGENCY COMMENTS

McCall Public Works

In an email dated June 24, 2022, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **ROS22-07** and have the following comments and concerns.

A 12' Snow storage, drainage, and utility easement will need to be declared along Chipmunk Ln, and Lick Creek Rd, and shown on this Record-of-Survey. Please let me know if you need our template for this declaration.

1. Location of control points, DDSS's state that the nearest control points should be used. Is 'McGolf' the closest control point in the network to this project? It is difficult for us to identify if it is the closest control point without digital data.
2. Once the final ROS draft is complete, two digital CAD files, prepared in accordance with the City's digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here: <https://evogov.s3.amazonaws.com/141/media/115532.pdf>

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Valley County Cadastral

In an email dated June 24, 2022, the Valley County Cadastral Specialist had the following comment:

"We will need to see deeds recorded at the county with the new descriptions, in order to complete the process. Also, please have the surveyor review lot closures prior to recording deeds and survey."

Public –

No public comment has been received.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Record of Survey applications, pursuant to Title 9, Chapter 1 of McCall City Code.
2. The proposed project is eligible for the Record of Survey process as a lot line adjustment.
3. The proposed project meets the dimensional standards for lots in the R4 zone, per Title 3, Chapter 3, McCall City Code.
4. Upon compliance with the conditions noted below, the application meets the Record of Survey Procedure requirements set forth in Title 9, Chapter 1 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Record of Survey application, provided that the following conditions are met:

1. The applicant shall record the survey with the following note(s) on the face of the plat:

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

2. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
3. Prior to recordation, the applicant shall receive final engineering approval.
4. The applicant shall provide the City with a .PDF copy of the recorded survey and recorded legal description immediately upon recordation.
5. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

Findings of Fact **adopted** this 2nd day of AUGUST, 2022.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)	
)	
GIDDENS RESIDENCE)	FINDINGS OF FACT, CONCLUSIONS OF LAW,
Design Review)	AND DECISION
)	
Application Number:)	
DR-22-12, SH-22-03)	

FINDINGS OF FACTS

Applicant: Eric Giddens

Representative: Mike Robnett

Application: An application for Design Review and Shoreline approval to construct a new, single-family dwelling unit with an attached, 2-car garage and covered exterior porch and patio with a total square footage of 4,332 square feet.

Address: 121 Kiki Court

Location: Lot No. 6 of the Reserve on Payette River in a portion of Government lots 4 and 7, situate in Section 17, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on June 23, 2022.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on June 22, 2022.

Posting: The Notice of Hearing was posted by the applicant on the subject property on June 22, 2022.

Zoning: R1 - Residential

Property Size: 0.49-acres (21,276 square-feet)

Dimensional Standards:

	Proposed	Required
Front Setback	36-feet, 0-inches	Greater than 25-feet
Rear Setback	50-feet, 0-inches	Greater than 10-feet
Side Yard Setback 1	22-feet, 0-inches	Greater than 12-feet, 4-inches
Side Yard Setback 2	14-feet, 6-inches	Greater than 12-feet, 4-inches
Eave Height 1	21-feet, 1-inches	Less than 35-feet, 0-inches
Eave Height 2	22-feet, 0-inches	Less than 29-feet, 0-inches
Both Side Setbacks must add up to:	36-feet, 6-inches	Greater than 33-feet, 3-inches
Lot Coverage (square-foot)	4,141 square-foot	Less than 5,327 square-foot
Lot Coverage (percent)	16.0%	Less than 25%
Snow Storage	2,215 square-foot	Greater than 713 square-foot
Building Height	29-feet, 8-inches	Less than 35-feet
Structure Size	4,332 square-foot	Less than 10,000 square-foot

Parking Spaces: Provided: 2+ spaces

Required: 2 spaces per MCC 3.8.062

APPROVAL STANDARDS

MCC 3.7.02 Shoreline and River Environs Zone

No conditional use or building permit shall be issued, nor is any development, grading, or alteration of any land within this zone permitted, unless the applicant establishes to the satisfaction of the commission and council in the case of a conditional use, or of the administrator in the case of a building permit, that:

1. **The proposed development meets all applicable requirements of this title and title IX of this code.** The proposed site plan and structure meet the applicable requirements of MCC Title 3, Chapter 7, Chapter 8, and Title 9.
2. **The plans accurately identify the water pool shore contours and high water marks, which, in the case of river environs, shall mean the limits of the area of special flood hazard. The site plan indicates the Water Pool Shore Contour elevation.** A condition of approval is to provide a

revised site plan which accurately reflects the area of special flood hazard and associated fifty-foot (50') setback area.

3. **A letter is on file from a specialist certified by the United States army corps of engineers wetlands expert that certifies that no wetlands related issues or issues related to fill of navigable waters issues were presented by the proposed development; or that a section 404 permit has been issued or is forthcoming by the corps of engineers, whichever is appropriate, city approval(s) under this title and title IX of this code are contingent upon all applicable section 404 permit requirements being met.** It appears that a 404 permit will not be necessary although the City reserves the right to require this at a later date if it becomes necessary.
4. **The requirements of the underlying zone are met.** The proposed residence meets the requirements of the Shoreline Zone and R1- Residential Zone.
5. **The fifty-foot (50') building setback line is met per subsection (C)3(c) of this section.** A condition of approval is to provide a revised site plan which accurately reflects the area of special flood hazard and associated fifty-foot (50') setback area.
6. **Proof of stormwater certification training has been provided by the individual applying for the building permit.** Proof of stormwater certification is required prior to issuance of a building permit.
7. **The Commission determined whether the proposed development, improvement or use:**
 - a. **Dominates the vistas of the water to the extent that it has an unreasonable adverse impact on the visual quality of its setting.** The proposed residence will not dominate the vista or have an unreasonable adverse impact on the setting.
 - b. **Is compatible in form, line, color and texture with its surroundings.** The proposed residence is consistent with the McCall architectural styles and includes the use of natural materials and colors.

- c. **Significantly differs in scale or contrast from its surroundings to the extent that it has an unreasonable adverse impact on the visual quality of its setting.** The proposed residence meets the dimensional standards of the zone and is designed to minimize the difference between the site’s topography and the built form. Therefore, the proposed residence does not differ in scale or contrast from its surroundings.
- d. **Creates a wall of structures as viewed from the water.** The proposed residence is required to be set back approximately 50-feet from the river and is sited at an angle from the river, which will help to minimize the scale of the structure.

MCC 3.16: Design Review

The commission has determined that:

1. The project is in general conformance with the comprehensive plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.
4. The project will have no substantial impact on adjacent properties or the community at large.

Please see review of the Design Guidelines below.

MCC 3.3.09: DESIGN Requirements

General Objectives for Residential Design

1. **Support a residential character and is compatible with its surrounding neighborhood:** The structure is residential in character and is compatible with the surrounding neighborhood.
2. **Preserves natural features:** The proposed residence is required to be set back at least fifty-feet (50’) from the area of special flood hazard and utilize native plants within the shoreline area.
3. **Promotes active and safe streetscapes:** The proposed residence does little to promote an active or safe streetscape.

Residential Review Standards

1. **Building Scale:** The proposed residence is similar in scale to other residences in the area.
2. **Building Design**
 - a. **Materials:** The proposed residence is to use wood, and metal.
 - b. **Roof:** The proposed residence will utilize varied rooflines.
 - c. **Exterior Color:** Exterior colors are of natural hues.
 - d. **Blank Walls:** Blank walls are avoided by including glass on all facades and undulating the facade.
 - e. **Snow Loads:** Snow loads will be verified as part of the building permit process.

MCC 3.8 General Development Standards

1. **Tree Removal:** The subject property does not have substantial trees.
2. **Fire Hazard Mitigation:** The proposed landscaping is consistent with the fire hazard mitigation standards of McCall City Code Section 3.8.04.
3. **Off Street Parking:** Adequate parking has been provided for the residential use.
4. **Bicycle Parking:** N/A
5. **Driveways:** The property will be accessed from Kiki Court. A driveway permit from Public Works and shared driveway agreement will be required.
6. **Fencing And Walls:** N/A
7. **Accessory Use, Buildings And Structures:** N/A.
8. **Accessory Dwelling Units:** N/A
9. **Corner Vision:** N/A
10. **Landscaping And Buffering:** The proposed landscaping meets the requirements of McCall City Code.

11. **Snow Storage And Drainage:** Adequate snow storage has been identified on site. Final engineering approval of the grading and drainage plan will be required prior to issuance of a building permit.
12. **Main Entrances In R4 Through R16 Zones:** N/A
13. **Special Standards For Garages:** Due to the size of the lot, the residence is exempt from garage design standards.
14. **Local Housing Density Bonus Program:** N/A
15. **Seasonal Dwelling Units:** N/A
16. **Site Design**
 - a. Preserve natural resources – The plans submitted preserve natural resources.
 - b. Reduce land and water modifications – a grading and drainage plan will be required to receive final approval by the City Engineer prior to issuance of a building permit. The plan shall demonstrate that the project can meet the City’s drainage management guidelines.
 - c. Location to preserve prominent skylines - the location will not impact any significant views of skylines
 - d. Underground utilities – all utilities will be installed underground

Architecture

1. **Enhance McCall Classic Styles:** The proposed residence is consistent with McCall’s Design Guidelines.
2. **Minimize Scale:** The building design uses architectural details to minimize its apparent scale.
3. **Building Additions:** N/A
4. **Roof Lines:** The roof line is varied to minimize the scale.
5. **Mechanical Equipment:** No exterior mechanical equipment is proposed.
6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** The proposed residence includes balconies and porches.
8. **Exterior Doorways:** N/A
9. **Wall Materials:** Exterior wall materials include wood and metal.
10. **Shop Front Design:** N/A

11. **Wall Colors:** Proposed wall colors are generally earth tones.

Landscaping and Site Design

1. **Light Fixtures:** Light fixtures are in compliance with McCall's Outdoor Lighting Ordinance.
2. **Fences and Walls:** N/A
3. **Retaining Walls:** N/A
4. **Paving and Streetscapes:** The proposed driveway is in conformance with McCall City Code.
5. **Landscaping Plan:** The proposed landscaping is conditioned to be in conformance with McCall City Code.
6. **Site Conditions for Landscaping:** N/A
7. **Lawn Area:** All areas disturbed with construction shall be re-seeded with native grasses or wildflowers.
8. **Plants as Screening:** The proposed landscaping is adequate to screen the residence.
9. **Utility Installations:** All new utilities are required to be undergrounded.
10. **Snow Storage:** Adequate snow storage has been identified.
11. **Screen Parking Lots:** N/A
12. **Irrigation System Required:** N/A
13. **Retain Existing Vegetation:** Existing vegetation will be retained as much as possible, all disturbed areas will be reseeded with native seed prior to issuance of a certificate of occupancy.
14. **Preserve Existing Trees:** No substantial trees exist on the subject property.
15. **Grading and Drainage:** Final approval of a grading and drainage plan will be required prior to issuance of a building permit.
16. **Maintenance:** Landscaping maintenance is the responsibility of the property owner.
17. **Sidewalks:** N/A
18. **Bike Paths:** N/A

Residential Districts

1. **Preserve historic residences:** No historic residences are impacted by this application.
2. **Preserve human scale in residential character:** The proposed residence varies walls and roof areas to minimize building massing and is adequately landscaped.
3. **Preserve compatibility with surrounding neighborhoods:** The structure is compatible with the surrounding neighborhood.
4. **Preserve natural features of the immediate landscape and environment:** The proposed residence is adequately landscaped.
5. **Provide for community, or affordable, housing as needed:** The project does not provide for community or affordable housing; however, it is not required by code.
6. **Provide open spaces to enhance and maintain the rural character:** The proposed residence does not utilize all of the allowable lot coverage, therefore provides more open space than is required.
7. **Provide living and moving space for native animals:** The proposed residence meets setback requirements, and therefore provides more living and moving space for animals than is required.
8. **Promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking:** The proposed residence does not promote an active or safe streetscape.

DEPARTMENT/AGENCY COMMENTS

Agency –

McCall Public Works

In an email dated June 23, 2022, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR22-12** and have the following comments and concerns.

1. A Preliminary Stormwater Report and Stormwater Application was not submitted with the application. The site plan submitted with the application does not provide sufficient information to demonstrate compliance with the City’s Drainage Management Guidelines (DMGs). However, due to the small scope and scale of the project, it appears that the project will likely be able to comply with the DMGs, subject to the following required submittals:

a. Stormwater requirements if **over 5,000 sqft** of impervious area remains, must be put together by an Idaho licensed Professional Engineer:

- i. Filled out and signed Stormwater Application (note that this property is in the shoreline, and requires the responsible party to have a stormwater certificate)
- ii. Stormwater drainage report that covers sections A,B,C,D, and F of the Stormwater Management Checklist
- iii. A site/grading plan showing temporary and permanent BMP’s
- iv. Detention area and design calculations verifying adequate are for the 1st flush storm (2yr-design storm).
- v. Information on the wetland impacts that are being proposed.

b. Supporting links for Stormwater items above:

- i. Stormwater
Application: <https://evogov.s3.amazonaws.com/141/media/115535.pdf>
- ii. Drainage Management Guidelines:
<https://evogov.s3.amazonaws.com/141/media/115536.pdf>
- iii. Stormwater Design Criteria Resolution 16-
10: <https://evogov.s3.amazonaws.com/141/media/115537.pdf>
- iv. DEQ BMP Catalog:
<https://www2.deq.idaho.gov/admin/LEIA/api/document/download/14968City's>

- v. GIS Application with 2ft contours as optional layer for site/grading plan -

<https://mccall.maps.arcgis.com/apps/webappviewer/index.html?id=3ecba344abc24c7a8018307dd72f71ab>

2. The proposed home is shown to encroach within the wetlands that are on the property. The footprint of the house needs to move, or appropriate steps and permitting from the Army Corps for the impact the wetland will be required.
3. A larger than standard 5/8" meter may be required for this home from an initial look at the water fixtures proposed. Please fill out the attached water infrastructure fixture count worksheet and submit it back to me for review and approval.
4. A water service line and meter are required to serve the project. The project proponent shall contact the City's Water Department Distribution Superintendent, Levi Brinkley at 208.634.1011 for information and requirements for new services. All fees shall be paid prior to water service installation.

Kiki Court appears to be a privately maintained road. Please work with the HOA on the proposed access location and any requirements they may have.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

See attached letter dated June 2, 2022.

Central District Health (CDH)

See attached letter date stamped by the City on June 9, 2022.

Public –

No comment has been received to date.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.

2. Adequate notice of the July 12, 2022 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met (Commission additions in underline):

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.
2. Prior to the issuance of a building permit, the applicant shall provide a revised site plan identifying the fifty-foot (50') shoreline setback from the Area of Special Flood Hazard (ASFH) with no structures within the setback area.
3. Prior to the issuance of a building permit, the applicant shall provide a revised landscape plan with no lawn area within the fifty-foot (50') shoreline setback area.
4. Prior to the issuance of a building permit, the applicant shall provide a Compliance Certification from the Army Corps of Engineers for the wetland areas on the subject property.
5. Prior to the issuance of a certificate of occupancy, the applicant shall reseed all disturbed areas with native grasses or wildflowers.
6. Pursuant to McCall City Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 2nd day of AUGUST, 2022.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
MINEGAR ACCESSORY) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
DWELLING UNIT) **AND DECISION**
Design Review)
)
Application Number:)
DR-22-17)

FINDINGS OF FACTS

Applicant: Pat Minegar

Representative: John Evans, John Evans Contractors

Application: An application for Design Review to construct a 3,600 square foot Utility Shop with a Local Housing Accessory Dwelling Unit on a property with an existing single-family home.

Address: 22602 Payette Drive

Location: Lot 9 of the Falcon Ridge Estates Subdivision, situate in the SW ¼ of the NE ¼ of Section 19, T18N, R3E, B.M., Valley County, Idaho.

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on June 23, 2022.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on June 27, 2022.

Posting: The Notice of Hearing was posted by the applicant on the subject property on June 30, 2022.

Zoning: RR – Rural Residential

Property Size: 21.9 acres

Dimensional Standards:

	Proposed	Required
Front Setback	390-feet, 0-inches	Greater than 25-feet
Rear Setback	190-feet, 0-inches	Greater than 20-feet
Side Yard Setback 1	300-feet, 0-inches	Greater than 15-feet, 0-inches
Side Yard Setback 2	1419-feet, 0-inches	Greater than 15-feet, 0-inches
Eave Height 1	12-feet, 6-inches	Less than 35-feet, 0-inches
Eave Height 2	12-feet, 6-inches	Less than 35-feet, 0-inches
Both Side Setbacks must add up to:	1719-feet, 0-inches	Greater than 465-feet, 0-inches
Lot Coverage (square-foot)	16,955 square-foot	Less than 95,428 square-foot
Lot Coverage (percent)	0.8%	Less than 10%
Building Height	30-feet, 6-inches	Less than 35-feet

Parking Spaces: Provided: 2+ spaces

Required: 2 spaces per MCC 3.8.062

APPROVAL STANDARDS

MCC 3.16: Design Review

The commission has determined that:

1. The project is in general conformance with the comprehensive plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.
4. The project will have no substantial impact on adjacent properties or the community at large.

Please see review of the Design Guidelines below.

MCC 3.3.09: DESIGN Requirements

General Objectives for Residential Design

1. **Support a residential character and is compatible with its surrounding neighborhood:** The structure is residential in character and is compatible with the surrounding neighborhood.

2. **Preserves natural features:** The proposed garage is primarily located on already disturbed area.
3. **Promotes active and safe streetscapes:** The proposed residence does little to promote an active or safe streetscape.

Residential Review Standards

1. **Building Scale:** The proposed garage is similar in design and scale to the primary residence.
2. **Building Design**
 - a. **Materials:** The proposed garage is to use wood with a generally natural appearance.
 - b. **Roof:** The proposed garage will utilize asphalt shingle roofing.
 - c. **Exterior Color:** Exterior colors are of natural hues.
 - d. **Blank Walls:** Blank walls are avoided by including glass on all facades.
 - e. **Snow Loads:** Snow loads will be verified as part of the building permit process.

MCC 3.8 General Development Standards

1. **Tree Removal:** No trees are proposed to be removed.
2. **Fire Hazard Mitigation:** The proposed landscaping is consistent with the fire hazard mitigation standards of McCall City Code Section 3.8.04.
3. **Off Street Parking:** Adequate parking has been provided for the residential use.
4. **Bicycle Parking:** N/A
5. **Driveways:** The proposed garage will be accessed from the existing driveway for the residence.
6. **Fencing And Walls:** N/A
7. **Accessory Use, Buildings And Structures:** N/A
8. **Accessory Dwelling Units:** N/A
9. **Corner Vision:** N/A
10. **Landscaping And Buffering:** The proposed landscaping meets the requirements of McCall City Code.

11. **Snow Storage And Drainage:** Adequate snow storage exists on site. Final engineering approval of the grading and drainage plan will be required prior to issuance of a building permit.
12. **Main Entrances In R4 Through R16 Zones:** N/A
13. **Special Standards For Garages:** Due to the size of the lot, the residence is exempt from garage design standards.
14. **Local Housing Density Bonus Program:** N/A
15. **Seasonal Dwelling Units:** N/A
16. **Site Design**
 - a. Preserve natural resources – The plans submitted preserve natural resources.
 - b. Reduce land and water modifications – a grading and drainage plan will be required to receive final approval by the City Engineer prior to issuance of a building permit. The plan shall demonstrate that the project can meet the City’s drainage management guidelines.
 - c. Location to preserve prominent skylines - the location will not impact any significant views of skylines
 - d. Underground utilities – all utilities will be installed underground

Architecture

1. **Enhance McCall Classic Styles:** The proposed addition is compatible with classic McCall styles.
2. **Minimize Scale:** The building design uses architectural details to minimize its apparent scale.
3. **Building Additions:** N/A
4. **Roof Lines:** The roof line is varied to minimize the scale.
5. **Mechanical Equipment:** No exterior mechanical equipment is proposed.
6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** N/A
8. **Exterior Doorways:** N/A
9. **Wall Materials:** Exterior wall materials include wood and stone.
10. **Shop Front Design:** N/A
11. **Wall Colors:** Proposed wall colors are of natural hues.

Landscaping and Site Design

1. **Light Fixtures:** Light fixtures are in compliance with McCall's Outdoor Lighting Ordinance.
2. **Fences and Walls:** N/A
3. **Retaining Walls:** N/A
4. **Paving and Streetscapes:** The proposed driveway is in conformance with McCall City Code.
5. **Landscaping Plan:** The proposed landscaping is in conformance with McCall City Code.
6. **Site Conditions for Landscaping:** N/A
7. **Lawn Area:** All areas disturbed with construction shall be re-seeded with native shrubs or grasses.
8. **Plants as Screening:** The site is generally open but the structure is set back approximately 400 feet off Chris Lane.
9. **Utility Installations:** All new utilities are required to be undergrounded.
10. **Snow Storage:** Adequate snow storage has been identified.
11. **Screen Parking Lots:** N/A
12. **Irrigation System Required:** N/A
13. **Retain Existing Vegetation:** Existing vegetation will be retained as much as possible, all disturbed areas will be reseeded with native seed prior to issuance of a certificate of occupancy.
14. **Preserve Existing Trees:** No trees are proposed to be removed
15. **Grading and Drainage:** Final approval of a grading and drainage plan will be required prior to issuance of a building permit.
16. **Maintenance:** Landscaping maintenance is the responsibility of the property owner.
17. **Sidewalks:** N/A
18. **Bike Paths:** N/A

Residential Districts

1. **Preserve historic residences:** No historic residences are impacted by this application.
2. **Preserve human scale in residential character:** The proposed garage is large but set back approximately 400 feet from Chris Lane.
3. **Preserve compatibility with surrounding neighborhoods:** The structure is compatible with the surrounding neighborhood.
4. **Preserve natural features of the immediate landscape and environment:** The proposed garage utilizes natural colors and materials and is adequately landscaped.
5. **Provide for community, or affordable, housing as needed:** The project includes a deed restricted local housing unit.
6. **Provide open spaces to enhance and maintain the rural character:** The proposed residence uses less than the maximum allowable lot coverage and therefor provides adequate open space.
7. **Provide living and moving space for native animals:** The proposed residence meets setback requirements, and therefore provides more living and moving space for animals than is required.
8. **Promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking:** The proposed residence does not promote an active or safe streetscape.

DEPARTMENT/AGENCY COMMENTS

Agency –

McCall Public Works

In an email dated June 24, 2022, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR22-17** and have the following comments and concerns.

1. With the relatively small footprint of the addition compared to the existing structures and the size of the lot. A formal stormwater report will not be needed for this application. However, a few items related to stormwater will need to be submitted for review and approval.
 - a. A stormwater application needs to be filled out and send back to me. Here is a link to the application: <https://evogov.s3.amazonaws.com/141/media/115535.pdf>
 - b. A site plan that incorporates where temporary BMP's will be located on the property during construction.

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Central District Health (CDH)

See attached letter date stamped by the City on June 9, 2022.

Public –

No comment has been received to date.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the July 12, 2022 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met:

1. Prior to the issuance of a building permit, the applicant shall receive final engineering approval.

2. Prior to the issuance of a certificate of occupancy, the applicant shall be required to execute a deed restriction for the accessory dwelling unit.
3. Prior to the issuance of a certificate of occupancy, the applicant shall reseed all disturbed areas with native grasses or wildflowers.
4. Pursuant to McCall City Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 2nd day of AUGUST, 2022.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
BIG HORN) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
SUBDIVISION) **AND DECISION**
Final Plat)
)
Application Number:)
FP-22-01)

FINDINGS OF FACTS

Applicant: Net Prophet, LLC

Representative: Sasha Childs

Application: A Subdivision Final Plat application for the creation of 12 residential lots on a parcel 2.82 acres in size on the west side of a small private section of Verita Road, directly west of Broken Ridge Commons and north of West Valley Road.

Procedural History: During its regularly scheduled August 3, 2021 meeting, the McCall Area Planning and Zoning Commission held a properly noticed public hearing and approved the Subdivision Preliminary Plat.

Location: In the NE ¼ of the NE ¼ situated in Section 18, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Public Notices: Public hearings are not required for Subdivision final plat review pursuant to MCC 9.2.07.

Zoning: R8 – Medium Density Residential

Property Size: 2.82-acres

APPROVAL STANDARDS

Title 9, Chapter 1

Subdivision and Development Provisions

- 1. The applicant, based on the size of the proposed subdivision, was not required to submit an accompanying Planned Unit Development application.** Per McCall City Code Section 9.1.02 a Planned Unit Development application is required in conjunction with a subdivision application in the R8 –Medium Density Residential Zone when the development exceeds 4.0 acres in size. The proposed development is 2.82-acres and is therefore not required to submit an accompanying Planned Unit Development application.
- 2. No subdivision shall be approved which affects the ability of a political subdivision of the state, including school districts, to deliver services without compromising quality or service delivery to current residents or imposing substantial additional costs upon current residents, unless the subdivider provides for the mitigation of the effects of subdivision.** The proposal is for twelve (12) parcels and is therefore not considered a large subdivision, as such, the proposed development will not put undue pressure on the school district or other public service providers.
- 3. When an owner of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The commission and council shall evaluate the following basic site criteria and make appropriate findings of fact regarding the area development plan.**

 - a. Streets, whether public or private, provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic and to meet the requirements of its functional classification.** The subdivision is accessed by an existing interconnected private street that has been determined to be adequate to accommodate the anticipated vehicular and pedestrian traffic. Internal access will be provided by Big Horn Court, a private street which will be built to City standards.
 - b. Nonvehicular circulation routes provide safe pedestrianways and bicycleways and provide an interconnected system to streets, parks and green space, public lands, or**

other destinations. Big Horn Court provides an interconnected bicycle and pedestrian street system with access to both Verita Road and Broken Ridge Commons to the east and future development to the west. Verita Road is not designated for any additional pathways improvements in the McCall Area Pathways Master Plan.

- c. Water main lines and sewer main lines are designed in the most effective layout feasible and meeting the applicable standards.** Water and sewer infrastructure exist within the Verita Road right-of-way.
 - d. Other utilities, including power, telephone, and cable, are designed in the most effective layout feasible.** All utilities shall be installed underground, including any existing overhead power utilities, which shall be relocated underground in accordance with Idaho Power specifications.
 - e. Park land is most appropriately located on the contiguous parcels.** The applicant is proposing an in-lieu contribution not to exceed \$24,000 to fund improvements on a nearby park site.
 - f. Grading and drainage are appropriate to the contiguous parcels.** Final engineering approval is required prior to any construction, which will ensure that grading and drainage are appropriate to the contiguous parcels.
 - g. Development avoids easements and hazardous or sensitive natural resource areas.** No hazardous or sensitive areas are identified on site.
- 4. The subdivision application contains more than four (4) lots and is therefore not eligible for the Record of Survey procedure.** The subdivision contains twelve (12) lots and is therefore not eligible for the Record of Survey procedure.
- 5. All subdivisions of land, records of survey, and all dedications and vacations of streets must comply with the McCall area comprehensive plan as adopted by the council and with the**

current zone as defined in title III of the McCall City Code. The proposed subdivision complies with all requirements of the McCall City Codes Titles 3 and 9 and is in conformance with the 2018 McCall Area Comprehensive Plan.

Subdivision Design Standards [MCC Title 9, Chapter 3]

- 1. Blocks:** The access allows for only one tier of blocks.
- 2. Lots:** The lot size, width, depth, shape, orientation, and the minimum building setback lines conform to applicable zoning and be appropriate for the location of the subdivision and for the type of development and use contemplated. Every lot abuts upon a street.
- 3. Streets:** The subdivision is accessed by an existing interconnected private street that has been determined to be adequate to accommodate the anticipated vehicular and pedestrian traffic. Internal access will be provided by Big Horn Court, a private street which will be built to City standards.
- 4. Alleys:** N/A
- 5. Easements:** A new twelve (12) foot wide snow storage and utility easement is identified along all street frontages. Prior to execution and recordation of the Subdivision Final Plat, all easements shall be indicated on the final plat and shall be formally documented with signed declarations and recorded with the plat.
- 6. Pedestrian and Bicycle Pathways and Greenbelts:** Big Horn Court provides an interconnected bicycle and pedestrian street system with access to both Verita Road and Broken Ridge Commons to the east and future development to the west. Verita Road is not designated for any additional pathways improvements in the McCall Area Pathways Master Plan.
- 7. Snow Storage:** Adequate snow storage is identified on the preliminary plat.
- 8. Monuments and Signage:** None proposed.

- 9. Parks:** Per MCC 9.3.101, a parks contribution is required when a development includes nine (9) or more parcels. The applicant is proposing an in lieu contribution not to exceed \$24,000 to fund improvements on a nearby park site.

Subdivision and Development Improvement Requirements [MCC Title 9, Chapter 6]

- 1. Streets:** The subdivision is accessed by an existing interconnected private street that has been determined to be adequate to accommodate the anticipated vehicular and pedestrian traffic. Internal access will be provided by Big Horn Court, a private street which will be built to City standards.
- 2. Street Name Signs:** N/A
- 3. Street Lighting:** N/A
- 4. Sidewalks:** No sidewalks exist on site or are proposed.
- 5. Drainage Facilities:** Final engineering approval is required prior to any construction, which will ensure that drainage is appropriate.
- 6. Water Supply:** Water service to each parcel shall be required at the time of development of each parcel. Capitalization and connection fees shall be paid at the then-current rates in effect. Please contact Levi Brinkley, Water Distribution System Supervisor at 208.634.1011 for more information concerning water meter and service requirements.
- 7. Sanitary Sewer:** The sewer district has reviewed the subdivision application and determined that the proposed development meets the allowed sewer design density. Additional sewer service connections per District specifications will need to be installed for some of the lots. Prior to issuance of a building permit for any parcel, proof of sewer connection permit is required.
- 8. Dry Lines:** N/A
- 9. Paved Pathways:** No paved pathways exist on site or are proposed.

- 10. Underground Power and Telephone:** All utilities shall be installed underground, including any existing overhead power utilities, which shall be relocated underground in accordance with Idaho Power specifications.
- 11. Landscaping:** All parcels are heavily treed. No trees are proposed for removal at this time.
- 12. Irrigation Wells:** N/A
- 13. Drainage:** Final engineering approval is required prior to any construction, which will ensure that drainage is appropriate.
- 14. Building Numbers:** Building numbers are required to be displayed in accordance with McCall Addressing Standards prior to issuance of a certificate of occupancy.
- 15. Perimeter Walls, Gates and Berms:** N/A
- 16. Perimeter Fencing:** None proposed
- 17. Driveways:** Drive approaches shall be located a minimum of 10' from property lines, such that the minimum space between any two drive approaches shall not be less than 20'. Drainage culverts may be required for crossings of the roadside ditch.

Development Agreement [MCC 9.6.06]

The developer is not currently proposing to defer any public infrastructure, therefore a development agreement is not required. At a future date, if the developer chooses to record a final plat prior to completion of all public improvements, a development agreement could be required.

Other Provisions Applicable to All Subdivisions and Development [MCC 9.7.09]

- 1. Public Places:** N/A
- 2. Streets and Access:** The subdivision is accessed by an existing interconnected private street that has been determined to be adequate to accommodate the anticipated vehicular and pedestrian traffic. Internal access will be provided by Big Horn Court, a private street which will be built to City standards.

3. Culture/Community: No historic ranching or farming operations, buildings, or sacred site are identified within the development.

4. Visual

- a. **Identify and preserve unique views.** The development does not impede any unique views.
- b. **Minimize exotic landscaping, the size of building footprints, and the amount of impervious surface devoted to roadways.** Building footprints are not identified. As each lot develops it will be required to meet McCall development standards.
- c. **Where vegetation of the natural landscape is sparse, limit additional landscape plantings, except for native plants.** The proposed parcels are all partially treed with native vegetation, which will remain.
- d. **Where natural vegetation or topography does not allow for "hiding" development, locate structures such that they are subordinate to the horizon and significant view sheds.** The applicant is required to submit an improved landscape plan for the common areas and screening adjacent to Verita Road.
- e. **Cluster developments in a manner so as to maximize visually significant open space.**
N/A
- f. **Nestle structures below ridgelines and with the folds of hills.** N/A
- g. **Avoid or mitigate ridge top "skylining" that alters the natural land profiles with built structures.** N/A
- h. **Minimize visual clutter within scenic corridors.** The development is not located on a scenic corridor.
- i. **Design buildings on hillsides to follow the natural terrain in a manner that minimizes earth disturbance.** N/A

- j. **Preserve and protect significant foreground views along scenic corridors.** The development is not located within a scenic corridor.
 - k. **Avoid fencing altogether to allow the landscape to flow uninterrupted.** No fencing is proposed at this time.
5. **Architecture and Design:** No structures or design guidelines are proposed at this time. Each lot will be sold and developed individually and shall adhere to all elements of the McCall City Code and Design Guidelines at the time of development.

DEPARTMENT/AGENCY COMMENTS

Agency –

McCall Public Works

The Public Works Department has reviewed the documents submitted for review for the final plat for **FP22-01** and have the following comments and concerns.

Plat:

1. Watermain easement needs to be extended on the plat on the western end of Big Horn Ct to Karen St.
2. The 12' snow storage/removal, drainage and utility easement needs to extend along the westerly edge of Lots 6 and 7.
3. On Sheet 1, the easement line for the drainage easement crosses Big Horn Ct. Is the drainage easement needed here? There is a discrepancy between sheet 1 and 2 regarding this easement
4. All rights-of-way shown on the plat need to be labeled with their full widths.
5. The plat requires two ties to the McCall Control network. These ties shall be to the nearest control points and on separate corners on the drawing.

6. The plat consists of many inconsistencies with the road name. Is the road named Big Horn Court or Bighorn Court? Please revise the plat and notes accordingly so the name is consistent.
7. Once the final plat draft is complete, two digital CAD files, prepared in accordance with the City's digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here: <https://evogov.s3.amazonaws.com/141/media/115532.pdf>

Financial Guarantees:

1. The Applicant team has not reached out for acceptance of the public infrastructure or identified if an escrow will be provided to finalize the final plat. One or the other needs to occur. If the applicant team wishes to provide an escrow, a meeting with City Staff, the District, and the applicants engineer and inspector, needs to be setup to determine items that still need to be finalized. A punch list will be generated from this meeting setting the foundation for an accurate escrow amount to be determined.
2. The private roadway maintenance, snow removal and cost forecasting plan shall be submitted for review and approval by the City Engineer, per MCC: 9.6.05.F.1. This plan shall serve as the basis for establishing necessary private road maintenance dues that will be collected by the HOA.

Construction Drawings:

1. Within 30 days of the completion of construction, you are required to submit record drawings (paper, PDF and digital drawing versions), in accordance with the City's digital data submission standards (DDSS) and IDEQ requirements.
2. The final landscaping plan needs to be included in the record drawings submitted to the City.
3. Upon completion of construction, the City will conduct an inspection of the project. This inspection, combined with successful documentation of all testing, easement/plat filing, and record drawings, will be the requirements of final acceptance for the project.

The comments above, except for the “Construction Drawings”, will need to be addressed prior to final plat approval from the Engineering Department, and City signature on the plat, which are required prior to Building Permit Issuance. Please let me know if you have any further questions or concerns.

Valley County Cartography

In an email dated June 24, 2022, the Valley County Cadastral Specialist had the following comment:

“Please have the surveyor review the distance along the west boundary of Open Space A; Block is referenced in the legend/missing in the plat; distances references for the east boundary of Open Space A & B are a bit deceiving; Ownership is currently under "Net Profit LLC"; prior to recording.”

Payette Lakes Recreational Water and Sewer District (PLRWSD)

See attached letter dated June 2, 2022.

Central District Health

See attached letter date stamped June 9, 2022.

Public –

No public comment has been received.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of application for Subdivision, authorized by Section 67-6512, Idaho Code, pursuant to Title 3, Chapter 13 of McCall City Code.
2. Public notice of the final plat application is not required.
3. Upon compliance with the conditions noted below, the application meets the Subdivision Standards set forth in Title 9 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **recommends** this Subdivision Final Plat application to the McCall City Council for approval, provided that the following conditions are met:

1. Prior to recordation, the applicant shall receive final engineering approval.
2. If the applicant wishes to utilize the ACC approval process, the applicant shall provide the following:
 - a. A copy of the ACC Design Guidelines for review and approval by the McCall Area Planning and Zoning Commission.
 - b. A revised copy of the CC&Rs with a statement stating, “If a conflict occurs between McCall City Code and the approval criteria herein, the more restrictive shall govern.”
 - c. A revised copy of the CC&Rs with a statement stating, “No amendments to the Design Guidelines shall occur without the consent of the City of McCall.”
3. Prior to issuance of a building permit for any lot, proof of sewer permit shall be required.
4. No building permits shall be issued until the final plat has been recorded.
5. Prior to recordation of the final plat, the applicant shall provide a revised final plat with a note stating whether Big Horn Court may be extended in the future for vehicular access.
6. Prior to recordation of the final plat, the applicant shall provide a landscape plan for the common areas and adjacent to Verita Road.
7. Prior to execution and recordation of the Subdivision Final Plat, the applicant shall construct all required street and pathway improvements and underground the overhead utility lines and shall obtain final approval of these aspects from the City of McCall. Alternatively, the applicant shall

obtain approval of a Development Agreement with the City and shall provide financial assurances for any deferred improvements.

8. Pursuant to McCall City Code (MCC 9.2.07(F)), final subdivision plat approval shall lapse and become void whenever the applicant has not recorded the plat within eighteen (18) months from the date of final plat approval by McCall City Council. Alternatively, the applicant shall obtain approval of a Development Agreement with the City that details a phasing plan and completion timeline.
9. Prior to execution and recordation of the Subdivision Final Plat, the applicant shall provide digital files of the plat in accordance with the McCall Digital Data Submission Standards.
10. Prior to execution and recordation of the Subdivision Final Plat, all easements shall be indicated on the final plat and shall be formally documented with signed declarations and recorded with the plat.
11. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the city for the permanent records of the city within sixty (60) days of completion of the construction.

Findings of Fact **adopted** this 2nd day of AUGUST, 2022.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCall Area Planning and Zoning Commission
Staff Report
DR-22-16

985 Valley Rim Road

August 2, 2022

Applicant: Treone Cooley
Representative: Claire Remsburg
Application: Design Review
Zoning District: R1 – Residential
Jurisdictional Area: Area of Impact

Description

An application for Design Review to construct a 2-bedroom, 1-bathroom, 780 square foot Accessory Dwelling Unit with a carport, on a property with an existing single-family home.

Staff Analysis

Project Information

Zoning District: R1 – Residential

Comprehensive Plan Designation: Low Density Residential

Project Acreage: 1.9-acres

Proposed Use: Accessory Dwelling Unit (ADU)

Dimensional Standards:

	Proposed	Required
Front Setback	106-feet, 0-inches	Greater than 25-feet
Rear Setback	138-feet, 6-inches	Greater than 20-feet
Side Yard Setback 1	120-feet, 0-inches	Greater than 15-feet, 0-inches
Side Yard Setback 2	116-feet, 0-inches	Greater than 15-feet, 0-inches
Eave Height 1	9-feet, 0-inches	Less than 35-feet, 0-inches
Eave Height 2	9-feet, 6-inches	Less than 35-feet, 0-inches
Both Side Setbacks must add up to:	236-feet, 0-inches	Greater than 84-feet, 0-inches
Lot Coverage (square-foot)	5,531 square-foot	Less than 13,322 square-foot
Lot Coverage (percent)	6.4%	Less than 16.1%
Building Height	19-feet, 0-inches	Less than 35-feet
Structure Size	1,235 square-foot	Less than 10,000 square-foot

Code Sections of Interest

- McCall City Code Section 3.3.09(C): Residential Zone Design Review Standards”

Residential Design Standards:

1. Building Scale: The building shall be in scale with the site conditions and surrounding structures. Appropriate scale can be accomplished through the following:

- a. The principal structure on the site is the dominant element.
- b. Building massing and scale is responsive to the site conditions, including views through and of the site, and existing vegetation. Development that is designed to complement rather than dominate the natural landscape.
- c. Variations in wall planes and roof lines are incorporated to minimize the apparent scale of the building.
- d. Porches, balconies, decks and terraces that strengthen the residential scale and character of the building.

2. Building Design: Building designs shall enhance and/or continue the styles found in the McCall area with allowance for new interpretations of historic details. Local natural building materials, roof overhangs, covered porches and entrances, simplicity of design, and segmented windows are elements of the McCall style. Building designs that are in keeping with the McCall style include the following:

- a. Materials:
 - i. Natural looking exterior materials looking siding and decking materials that resist heat and flames, including: composite decking, cement, plaster, stucco, masonry (such as stone brick or blocks) and fiber-cement siding, soffit, and trim products.

ii. Use of stones that convey the appearance of a structural element rather than a veneer facing.

iii. Metal when used in combination with natural materials.

b. Roofs:

i. Roofs that compliment and respond to the mountain setting and heavy snow environment.

ii. Hipped, pitched, shed and gabled roofs.

iii. Roofs designed to prevent snow or ice from shedding directly onto a pedestrian walkway, access or adjacent property.

iv. Class A fire rated roof assemblies.

c. Exterior Color:

i. Exterior wall colors that tend toward earthy warm hues, with accent colors kept to a minimum of two (2) and used to highlight entrances.

ii. No harshly contrasted color combinations, brilliant, luminescent or day-glow colors on exterior finishes.

d. No blank walls shall face street frontages, including blank or unarticulated garage doors.

e. Decks and balconies shall be designed to handle snow and drift loads including snow shedding from roof overhangs above.

- McCall City Code Section 3.8.11: Accessory Use, Buildings and Structures:

(A) An accessory building shall have the same exterior finishing colors and textures as the principal building to which it is accessory, unless some other design or materials are approved by the Administrator; provided, that if the building roof does not comply with fire mitigation standards, materials which do meet those standards may be substituted.

(B) The size of an accessory structure shall be limited to 1500 square feet unless the structure contains a local housing unit then there is no limitation on size.

- McCall City Code Section 3.8.11.01: Accessory Dwelling Units:

Accessory Dwelling Units: Accessory dwelling units are permitted subject to the provisions of Chapter 16 DESIGN REVIEW of this Title and the following conditions:

(A) Number: One accessory dwelling unit is permitted as subordinate to any existing principal dwelling unit or on property where there is a development permit to establish a principal

dwelling unit, except as allowed through the LOCAL HOUSING DENSITY BONUS PROGRAM set forth in Section 3.8.21.

- (B) Location: An accessory dwelling unit shall be separate from, a part of, or added to the principal dwelling unit.
- (C) Density: Accessory dwelling units shall not be considered for purposes of determining development density.
- (D) Basic Requirements for Habitation: An accessory dwelling unit shall provide basic requirements for living, sleeping, eating, cooking and sanitation.
- (E) Health and Safety Code Requirements: An accessory dwelling unit shall meet the requirements of city code Title 2 BUILDING REGULATIONS and meet all governmental standards for water and sewage systems.
- (F) Size: The square footage of the accessory dwelling shall not exceed 1500 square feet, unless the unit has been dedicated as a local housing unit.
- (G) Parking: No additional parking is required.
- (H) Accessory dwelling units that qualify as Local Housing may request a waiver from the monthly water service fees subject to available funding.
- (I) Rental Requirements:
 1. Accessory dwelling units may be used for lease or rental purposes by obtaining a business license for rental pursuant to Title 4 BUSINESS REGULATIONS of the Municipal Code. In the situation where there is a short-term rental on a property, either the accessory dwelling unit or the principal residence shall be owner occupied or a deed restricted local housing unit.

- McCall City Code Section 3.16.07: Design Review Criteria:

The commission or administrator shall determine the following before approval is given:

- (A) The project is in general conformance with the comprehensive plan.
- (B) The project does not jeopardize the health, safety or welfare of the public.
- (C) The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance as enumerated in section 3.16.01 of this chapter.
- (D) The project will have no substantial impact on adjacent properties or on the community at large.
- (E) If applicable, a subdivision design review document has been reviewed and approved by the commission in lieu of the design guidelines.
- (F) For projects in the shoreline and river environs zone, the project will not have an unreasonable and adverse impact on the visual quality of its setting or the water quality.
- (G) For projects in the scenic route zone, the project will preserve and enhance the scenic quality of the street or highway.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:

McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.

- Deep Dive – Future Land Use Designations – Low Density Residential:
This land use designation is intended to provide for the development of lowdensity single-family residential neighborhoods. These neighborhoods consist of larger home sites. *Implementing Zoning Districts: R-4*

Staff Discussion

- The applicant is proposing to construct a new 780 square foot accessory dwelling unit.
- The building plans included with this application also show a garage addition to the primary residence. This addition was approved as AA-22-20 and is not part of this application.

Agency –

McCall Public Works

On July 22, 2022, the subject application received final engineering approval.

Central District Health (CDH)

See attached letter date stamped by the City on June 9, 2022.

Public –

Email received from Dave Robbins on July 12, 2022, expressing concern.

Staff Recommendation

Staff recommends approval of this application with the Conditions of Approval listed below.

Conditions of Approval

1. Prior to the issuance of a certificate of occupancy, the applicant shall reseed all disturbed areas with native grasses or wildflowers.
2. Pursuant to McCall City Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Prepared By:



Brian Parker
City Planner

City of McCall
216 East Park Street
McCall, Idaho 83638
P.208.634.7142

LAND USE APPLICATION



Date Received:
5/10/2022 MHT

Fees Paid:

NOTICE OF ADDITIONAL FEES

Land use applications may be subject to engineering and legal review for purpose of addressing compliance and conformance issues. The City of McCall reserves the right to contract these services to private firms. The costs of these reviews are passed on to the applicant. These fees are separate, and in addition to, the City's application and permit fees. Completion of this application signifies consent to these fees.

Please check all that apply:

- # _____ Record of Survey (ROS) - \$420
- # _____ Design Review (DR) - \$300 + \$25/1,000 sq. ft. of new construction (rounded to the nearest 1,000)
- # _____ Scenic Route (SR) - \$300
- # _____ Shoreline or River Environs (SH) - \$300
- # _____ Conditional Use Permit (CUP) - \$600
- # _____ Administrative Approval (AA) - \$50
- # _____ Planned Unit Development (PUD) General Plan - \$2,000 + \$75/lot or unit
- # _____ Planned Unit Development (PUD) Final Plan - \$500 + \$75/lot or unit
- # _____ Subdivision (SUB) Preliminary Plat - \$2,500 + \$75/lot or unit
- # _____ Subdivision (SUB) Final Plat - \$1000 + \$75/lot or unit
- # _____ Minor Plat Amendment - \$1,000
- # _____ Variance (VAR) - \$1,000
- # _____ Rezone (ZON) - \$1,500
- # _____ Zoning Code Amendment (CA) - \$750/title
- # _____ Annexation - \$3,000
- # _____ Vacation (VAC) - \$750

Incomplete applications cannot be accepted by the City. Unless otherwise exempted by the Administrator, all Application Requirements must be provided at the time of submission. Please refer to specific application info sheets for more details.

PROPERTY OWNER INFORMATION

Property Owner 1: TREONE COOLEY Email: treonelaure@gmail.com

Mailing Address: 985 Valley Rim Rd, McCall, ID 83638 Phone: (208) 401-8443

Property Owner 2 (If Applicable): _____ Email: _____

Mailing Address: _____ Phone: _____

AGENT/AUTHORIZED REPRESENTATIVE INFORMATION

Applicant/Representative: Claire Remsberg Email: claireremsberg@gmail.com

Mailing Address: PO Box 2523, McCall, ID 83638 Phone: 208-315-2070

PROPERTY INFORMATION

Address(es) of Property: 985 Valley Rim Rd McCall ID

Legal Description of Property: #Site Description

Zoning District of Property: #Zone Project Sq. Footage (If Applicable): 1164 SF garage and entry addition
780 SF Cottage

Impact Area City Limits Residential Commercial

LAND USE APPLICATION CONTINUED

Payette Lakes Water and Sewer District or Septic System or not applicable

PROJECT DESCRIPTION

Explain the general nature of what is proposed: *(please attach supplemental information if needed)*

- _____ A) a garage and entry addition to the existing house (1164 SF enclosed), _____
_____ plus remodeling of existing garage for living space. _____
_____ B) a detached ADU Cottage (780 SF enclosed) _____

SIGNATURES

The Applicant hereby agrees to pay reasonable attorney fees, including attorney fees on appeal and expenses of the City of McCall, in the event of a dispute concerning the interpretation or enforcement of the Land Use Application in which the City of McCall is the prevailing party.

I certify that I have reviewed and understand the procedures and requirements of the McCall City Code. I give permission for City staff and/or Planning & Zoning Commission members to view and enter the subject property in order to fully review this application. I understand that failure to provide complete and accurate information on this application may lead to denial of this application.

TREONE COOLEY

Property Owner 1

Signature

Property Owner 2 *(If Applicable)*

Signature

Claire Remsberg

Agent/Authorized Representative

Signature

FOR RECORD OF SURVEY APPLICATIONS ONLY: STATEMENT OF EASEMENT DISCLOSURE

Surveyor

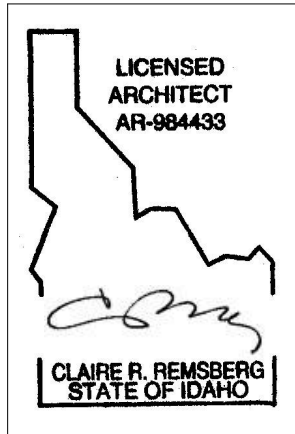
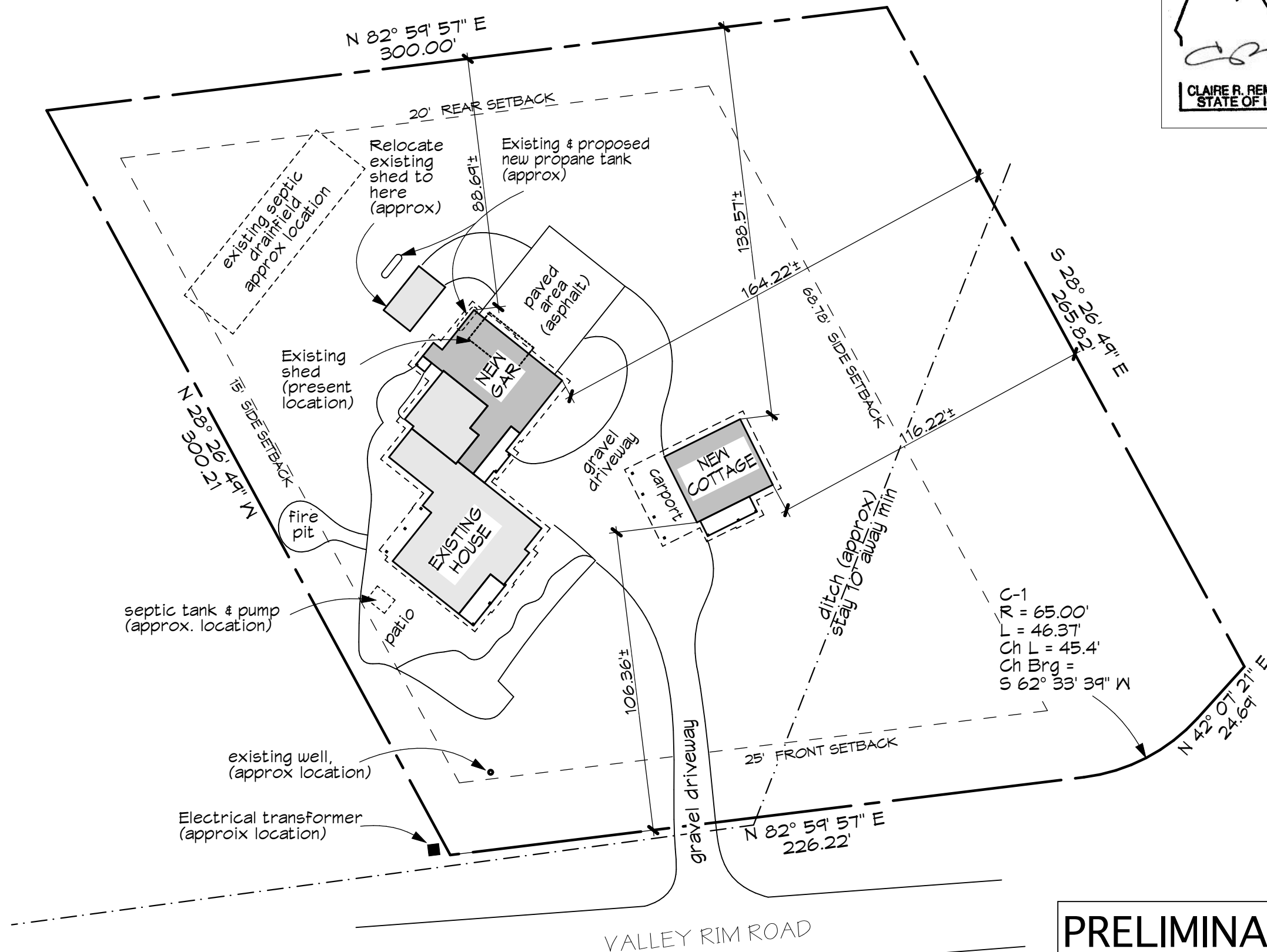
Signature

I hereby certify that I have performed a thorough search for all relevant easements that relate to the subject property and have indicated or referenced these by their instrument number on the provided survey.

LOT COVERAGE:		
Lot Area in square feet:	82,981 (as per assessor)	
Lot Coverage % Allowed:	15 %	
Lot Coverage Allowed:	12,447 SF allowed	
Existing Lot Coverage		
Footprint of existing house & garage	2233 x 100%	2233
Footprint of existing shed	240 x 100%	240
Area of existing covered Decks, Patios, Walkways, Plazas, etc.	119 x 100%	119
Area of existing uncovered Decks, Patios, Walkways, Plazas, etc.	2633 x 50%	1317
Existing Driveways, surface parking, etc.	2788 x 35%	976
TOTAL EXISTING		4,884 SF
Proposed Lot Coverage		
Footprint of proposed house addition	1163 x 100%	1163
Footprint of proposed cottage	780 x 100%	780
Area of proposed covered Decks, Patios, Walkways, Plazas, etc. at House	228 x 100%	228
Area of proposed covered Decks, Patios, Walkways, Plazas, etc. at Cottage	117 x 100%	117
Area of proposed uncovered Decks, Patios, Walkways, Plazas, etc.	215 x 50%	108
Proposed Driveways, surface parking, etc.	3477 x 35%	1217
TOTAL PROPOSED		3,612 SF
TOTAL LOT COVERAGE		8,497 SF

BUILDING SIZE	
EXISTING BUILDING	
Occupied space	1724
Unoccupied space (garage) *	509
Unoccupied space (shed)	240
Covered exterior space	119
TOTAL EXISTING	2592 SF
PROPOSED HOUSE ADDITION	
Occupied space	194
Unoccupied space (garage)	970
Covered exterior space	194
TOTAL PROPOSED	1358 SF
PROPOSED COTTAGE	
Occupied space	780
Unoccupied space (carport)	338
Covered exterior space (porch)	117
TOTAL PROPOSED	1235 SF
TOTAL BUILDING SIZE	5,185 SF

* Note: some of existing garage will be converted into occupied space



REMSBERG ARCHITECTURE

TREONE COOLEY
 Remodel / Addition, 985 Valley Rim Rd

Claire R. Remsberg, Architect
 PO Box 2523 McCall, Idaho 208-315-2010
 www.RemsbergArchitecture.com

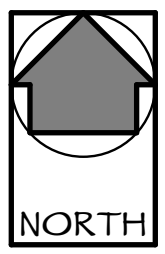
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 Design: TRE COO
 Drawn: TRE COO
 11x17

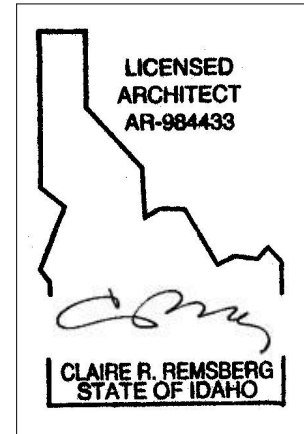
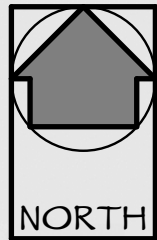
SITE PLAN

1" = 40'

p1

PRELIMINARY
 not for construction





REMSBERG ARCHITECTURE

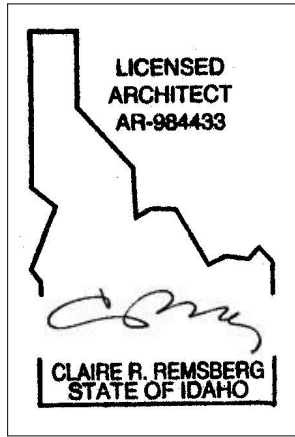
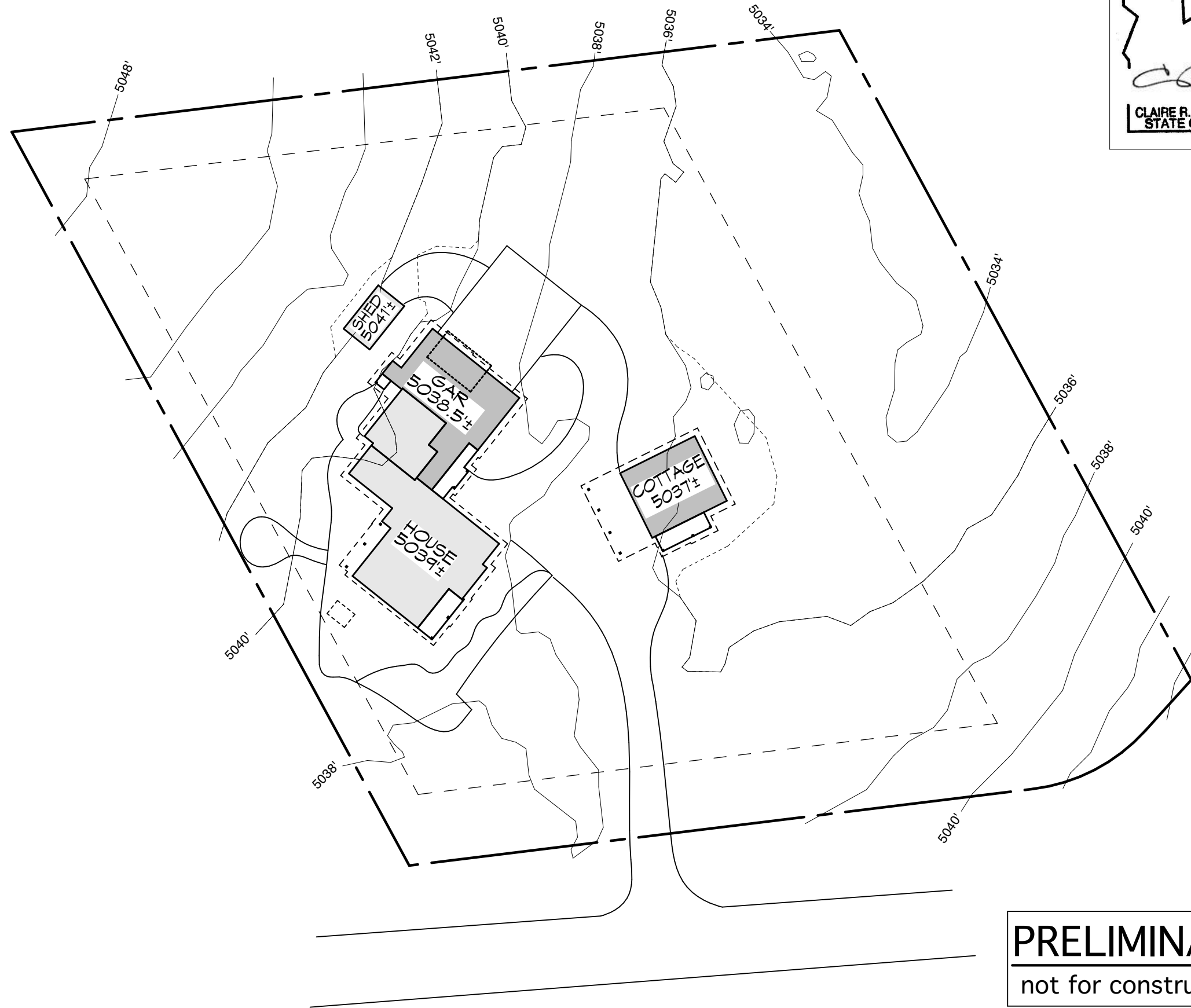
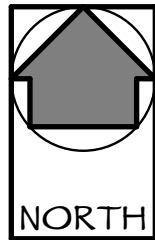
Claire R. Remsberg, Architect
 PO Box 2523 McCall, Idaho 208-315-2010
 www.RemsbergArchitecture.com

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 Design: NTC, CRR
 Remsberg, CA
 11x17

TREONE COOLEY
 Remodel / Addition, 985 Valley Rim Rd

PRELIMINARY
 not for construction

VICINITY
 MAP
 1" = 500'
 p2



REMSBERG ARCHITECTURE

TREONE COOLEY

Remodel / Addition, 985 Valley Rim Rd

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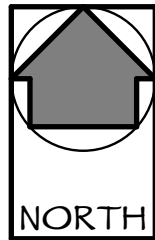
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Reviewed by CRR
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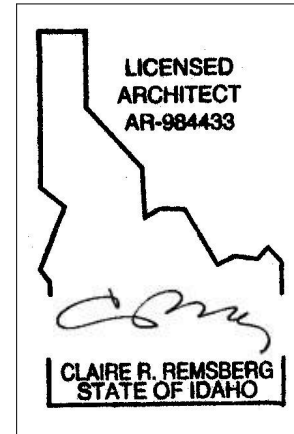
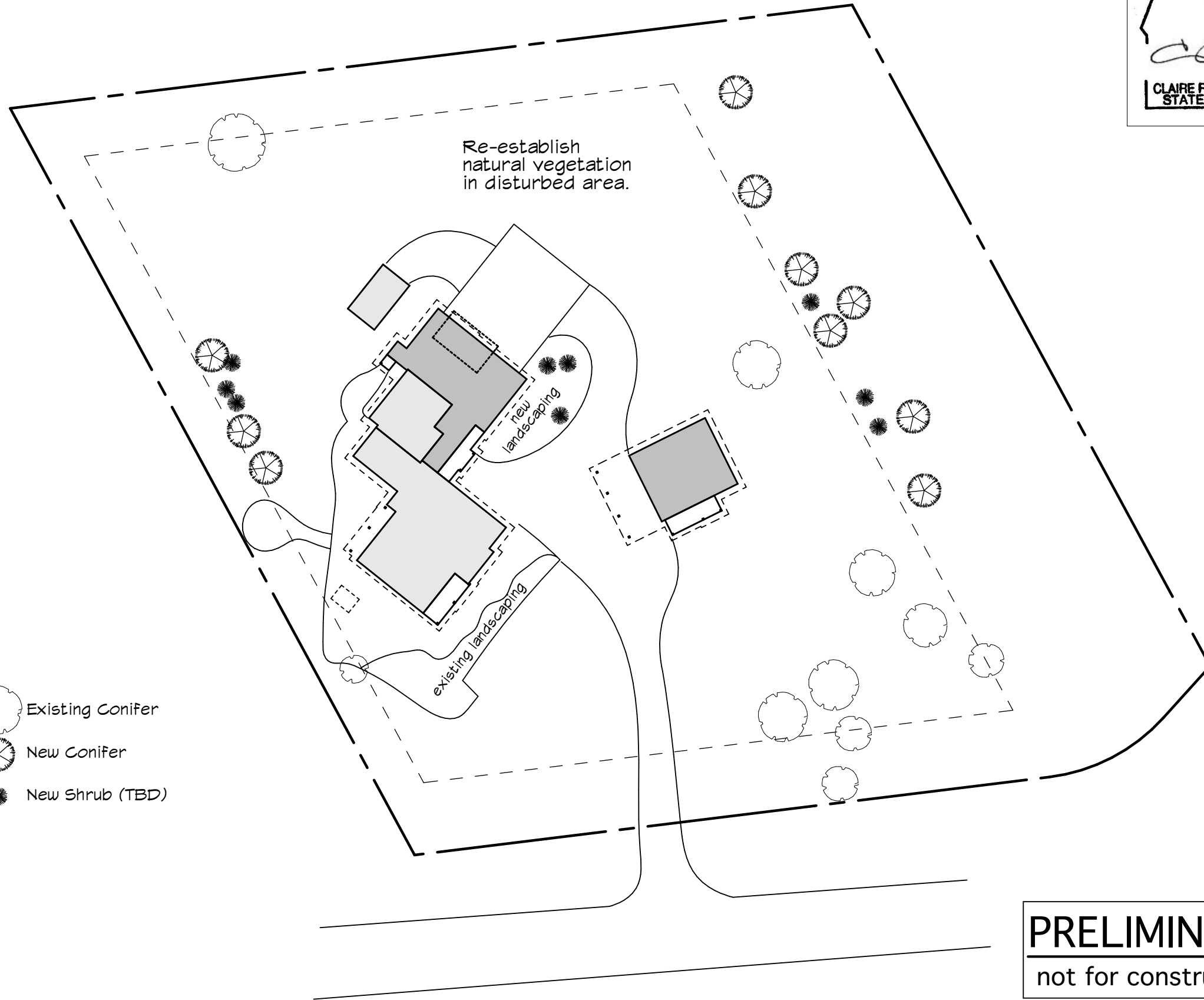
GRADING
PLAN

1" = 40'

p3



-  Existing Conifer
-  New Conifer
-  New Shrub (TBD)



REMSBERG ARCHITECTURE

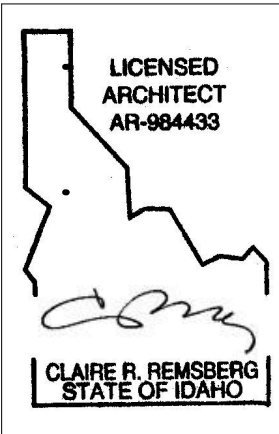
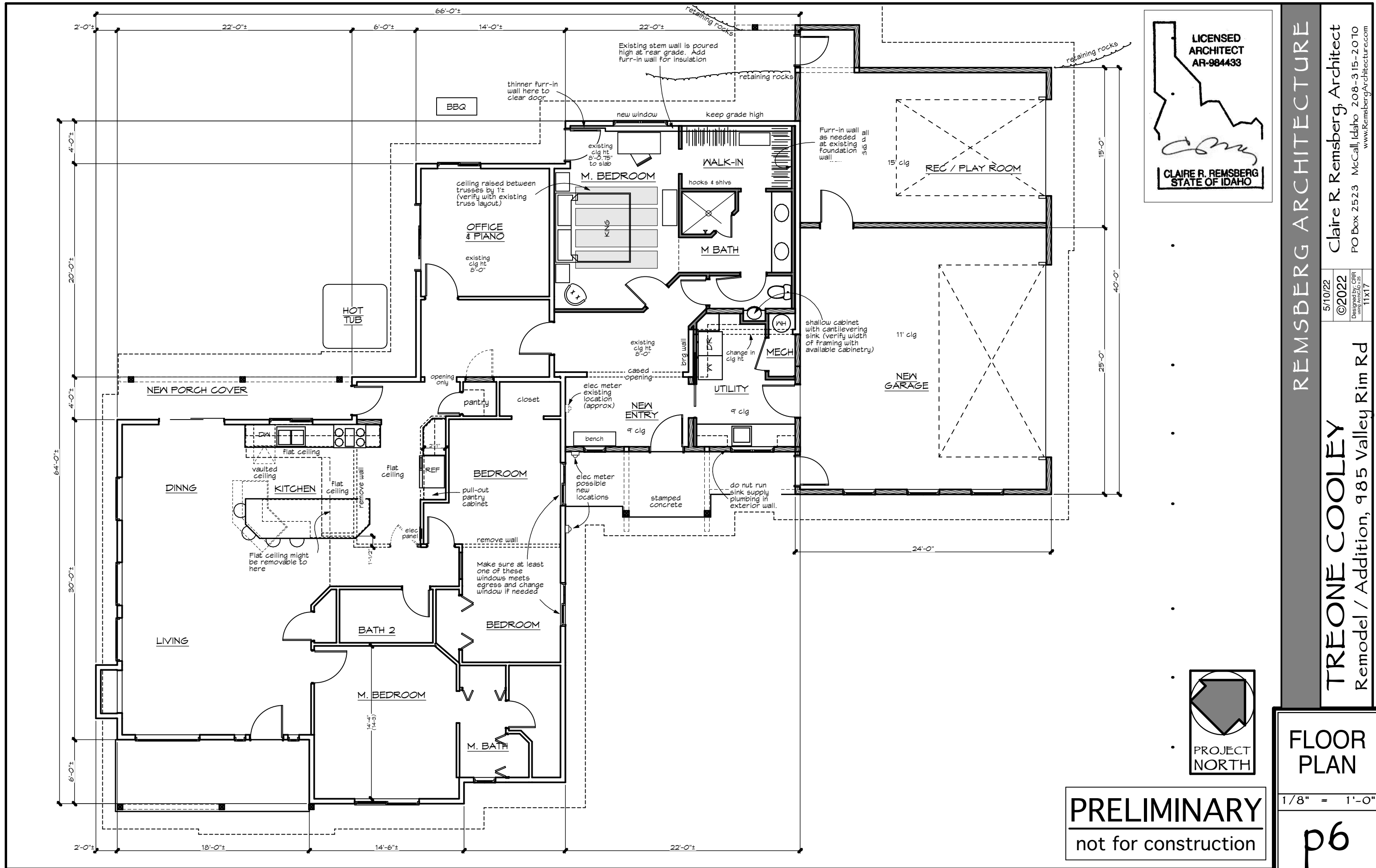
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Reviewed by: CR
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TREONE COOLEY
Remodel / Addition, 985 Valley Rim Rd

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not for construction

LANDSCAPE PLAN
1" = 40'
p4



REMSBERG ARCHITECTURE

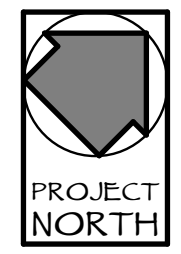
TREONE COOLEY
 Remodel / Addition, 985 Valley Rim Rd

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 Remodel, 2026, CRP
 11x17

FLOOR PLAN
 1/8" = 1'-0"
pb

PRELIMINARY
not for construction





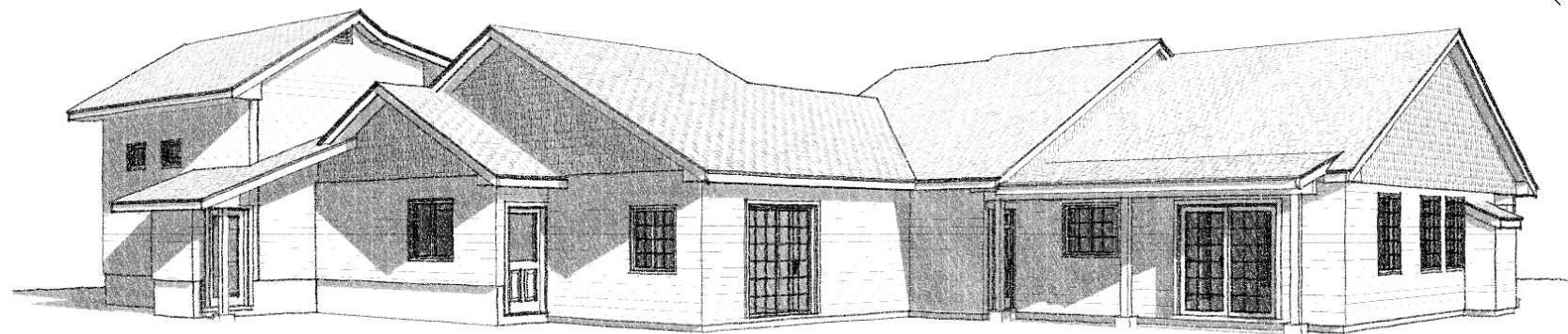
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EAST



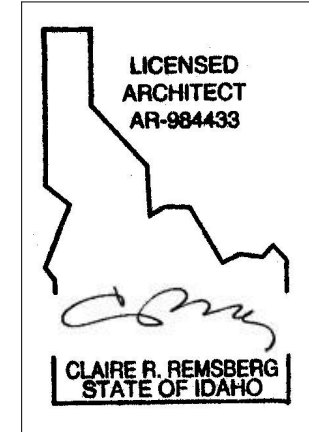
← ADDITION →

NORTH



← ADDITION →

WEST



REMSBERG ARCHITECTURE

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TREONE COOLEY
Remodel / Addition, 985 Valley Rim Rd

3D
VIEWS

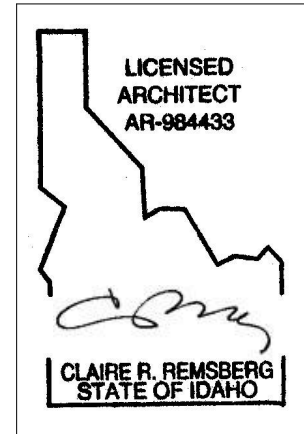
PRELIMINARY
not for construction

p1



SOUTHEAST

NEW EXTERIOR FINISHES
& COLORS TO MATCH
EXISTING.



NORTHWEST

PRELIMINARY
not for construction

REMSBERG ARCHITECTURE

Claire R. Remsberg, Architect
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Remsberg, CRR
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TREONE COOLEY
Remodel / Addition, 985 Valley Rim Rd

ELEVATIONS

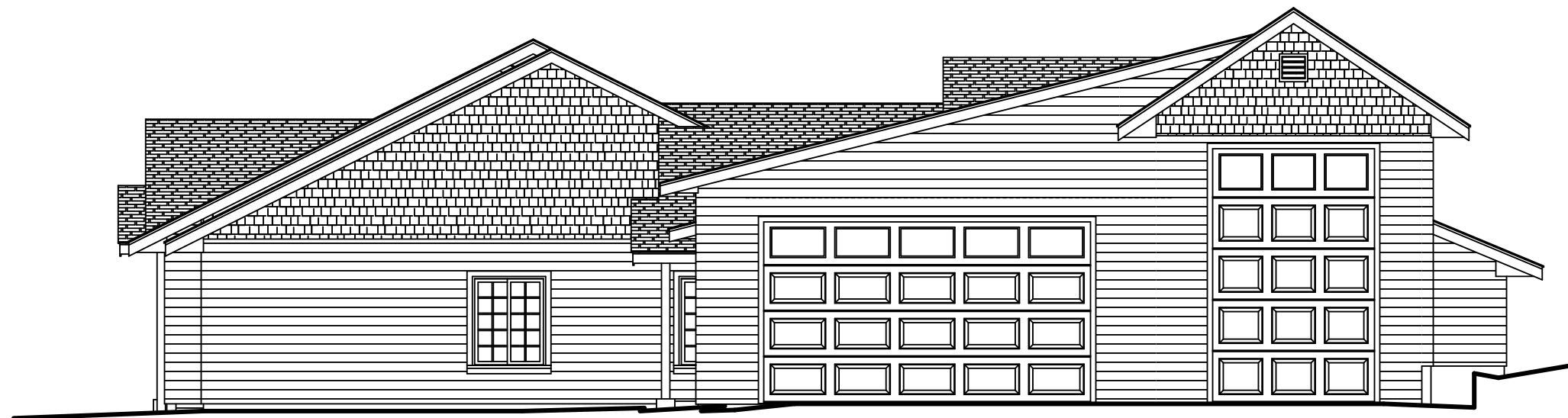
1/8" = 1'-0"

p8



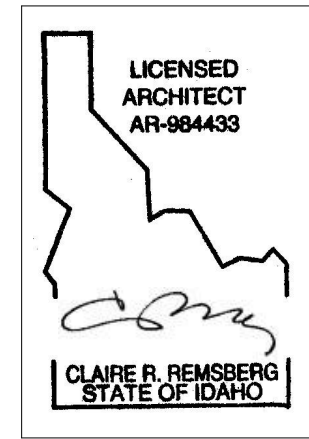
SOUTHWEST

NEW EXTERIOR FINISHES
& COLORS TO MATCH
EXISTING.



NORTHEAST

PRELIMINARY
not for construction



REMSBERG ARCHITECTURE

Claire R. Remsburg, Architect
PO Box 2523 McCall, Idaho 208-315-2010
www.RemsburgArchitecture.com

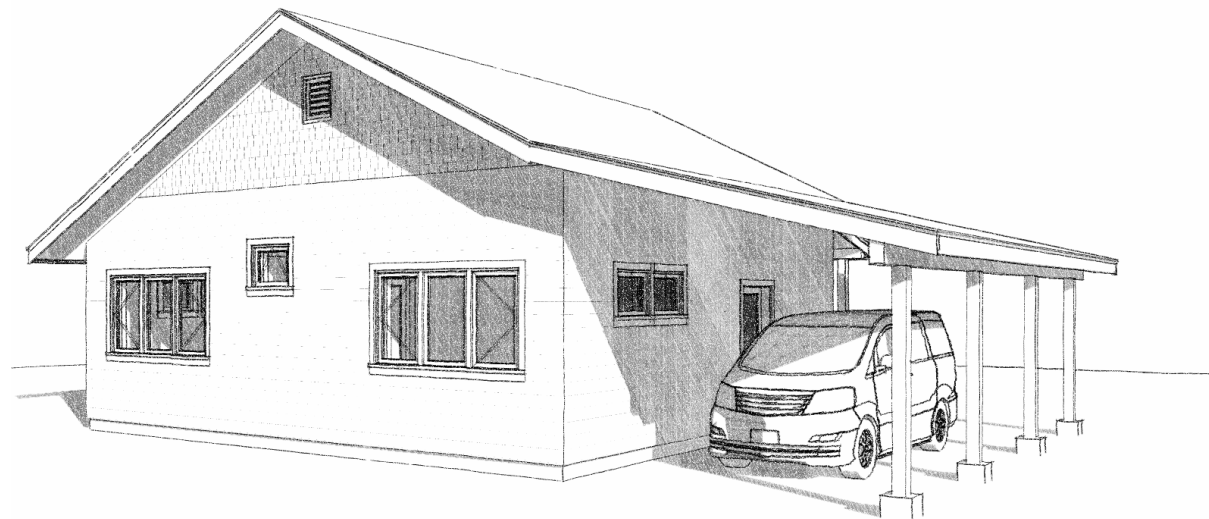
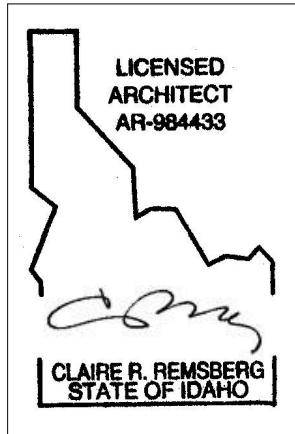
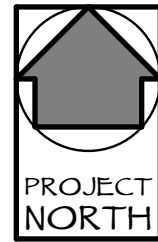
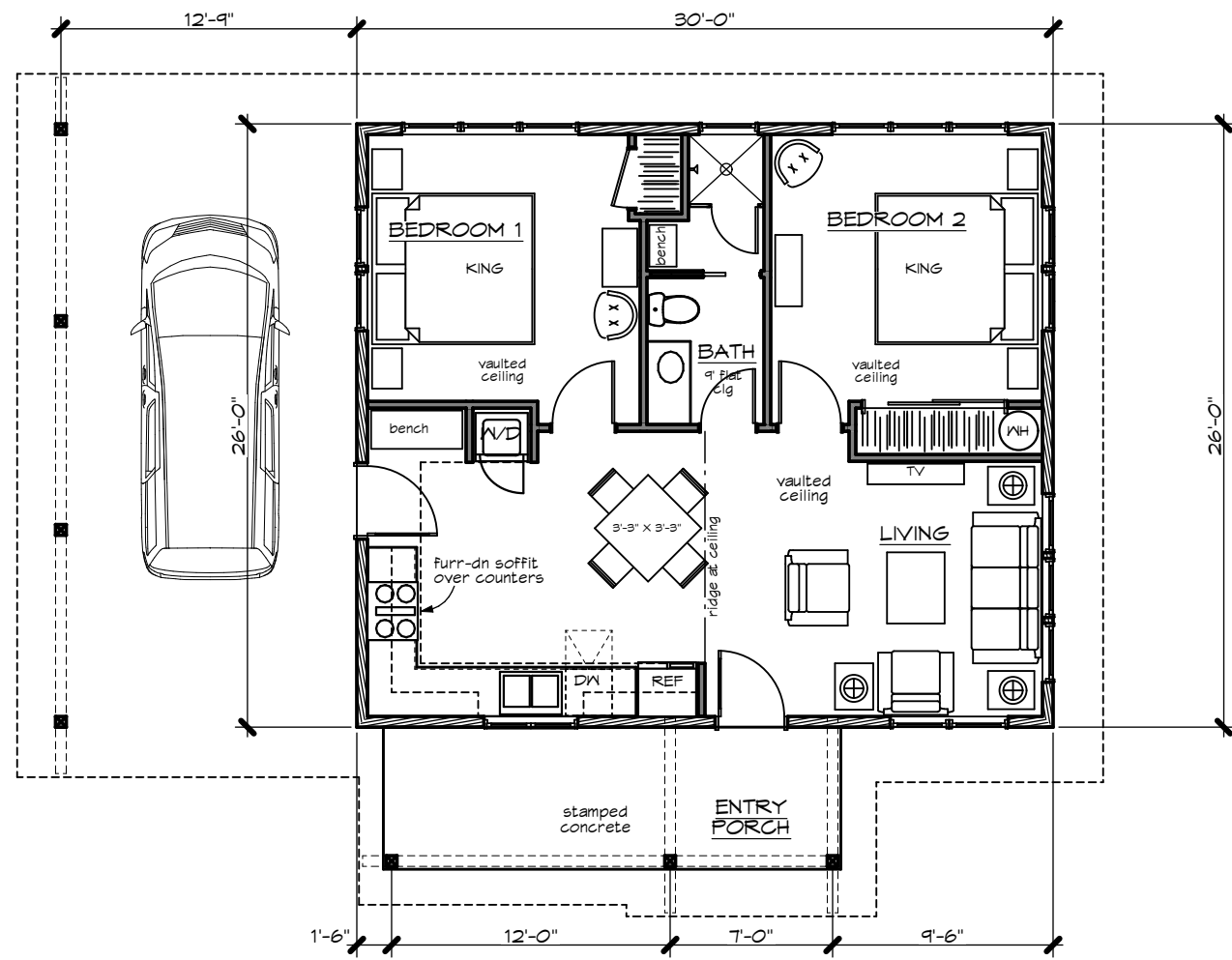
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TREONE COOLEY
Remodel / Addition, 985 Valley Rim Rd

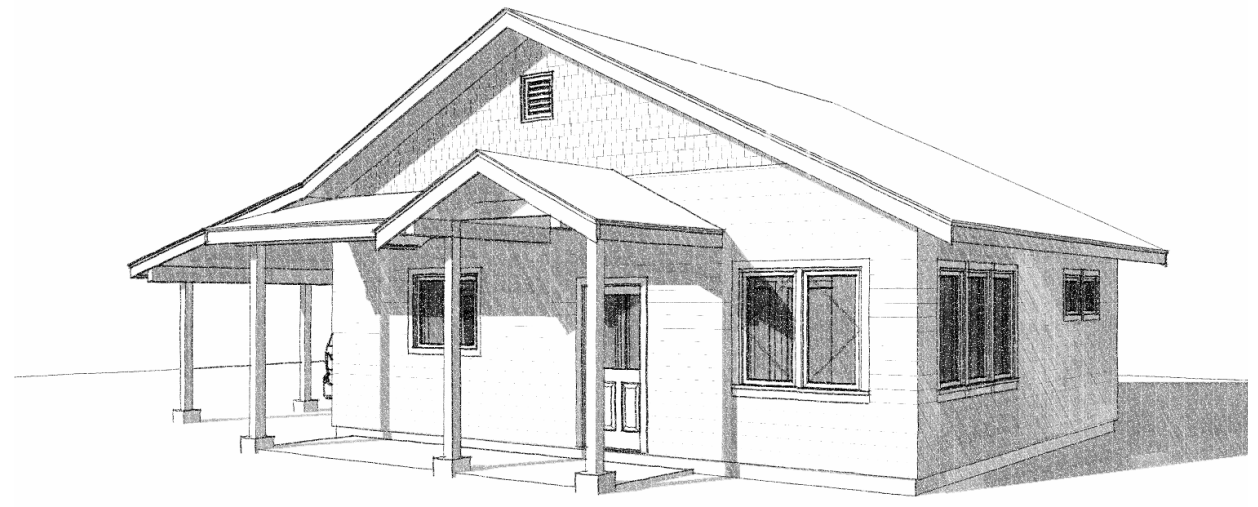
ELEVATIONS

1/8" = 1'-0"

p9



COTTAGE NORTHWEST



COTTAGE SOUTHEAST

PRELIMINARY
not for construction

COTTAGE
PLAN &
3D VIEWS

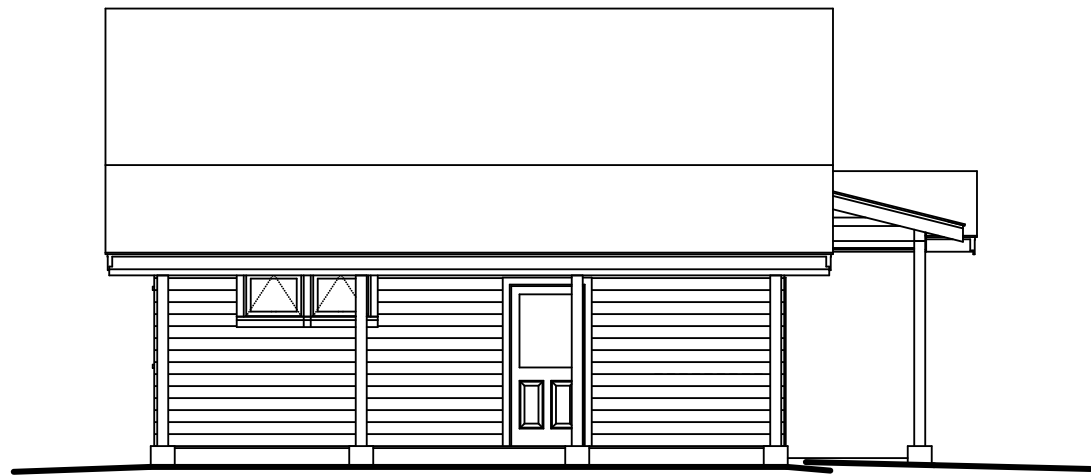
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REMSBERG ARCHITECTURE

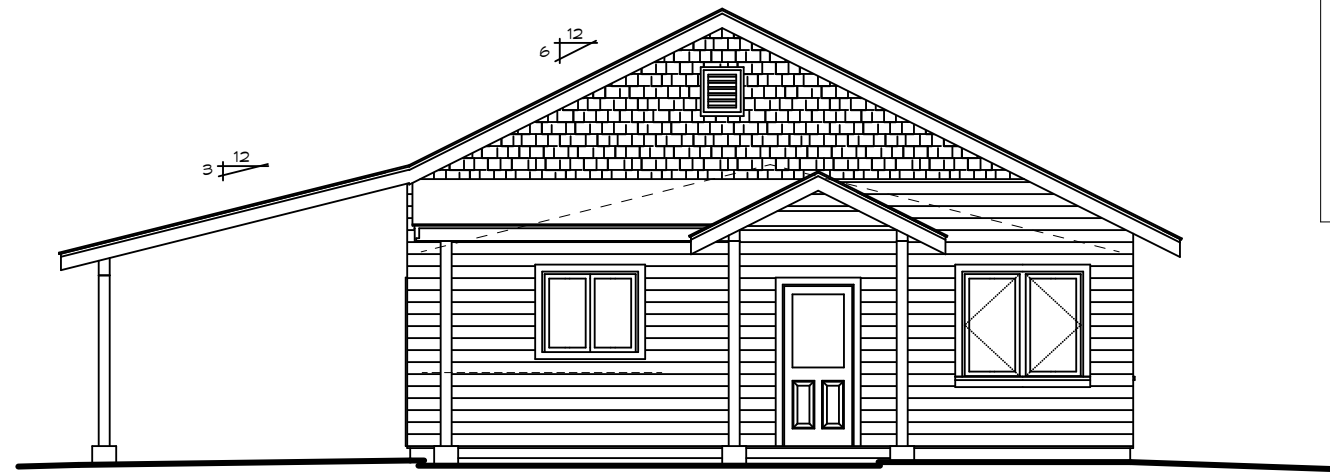
Claire R. Remsberg, Architect
PO Box 2523 McCall, Idaho 208-315-2010
www.RemsbergArchitecture.com

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©2022
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Remsberg, AR-984433
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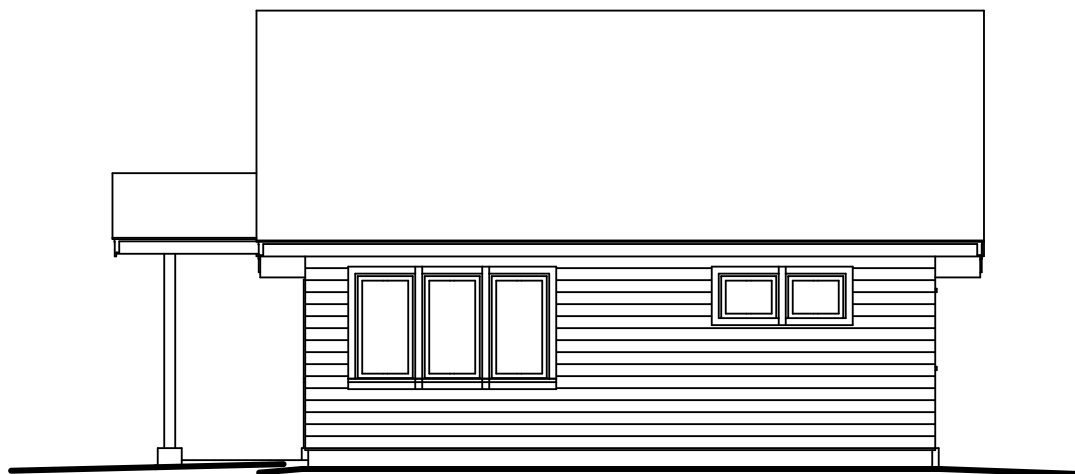
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Remodel / Addition, 985 Valley Rim Rd



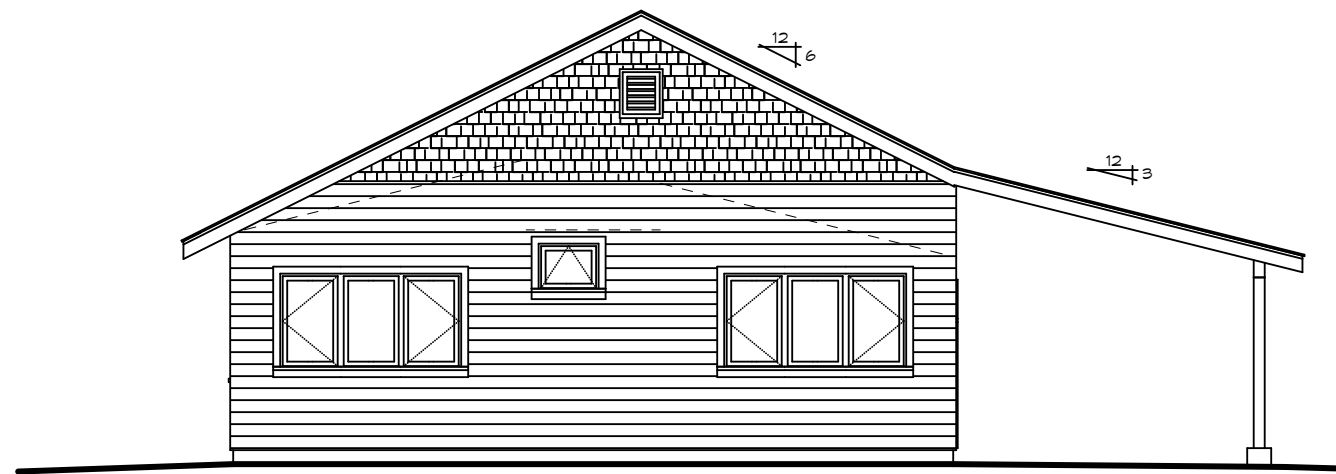
COTTAGE WEST



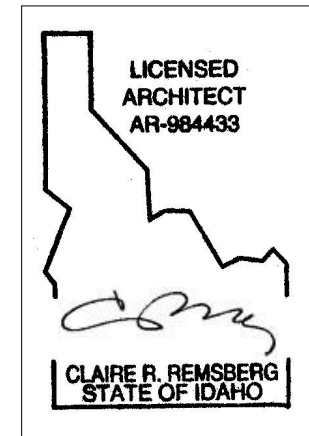
COTTAGE SOUTH



COTTAGE EAST



COTTAGE NORTH



REMSBERG ARCHITECTURE

Claire R. Remsberg, Architect
 PO Box 2523 McCall, Idaho 208-315-2010
 www.RemsbergArchitecture.com

5/10/22
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 Design: NTC, CRR
 Remsberg, 2026
 11x17

TREONE COOLEY
 Remodel / Addition, 985 Valley Rim Rd

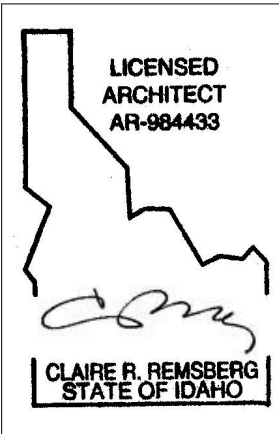
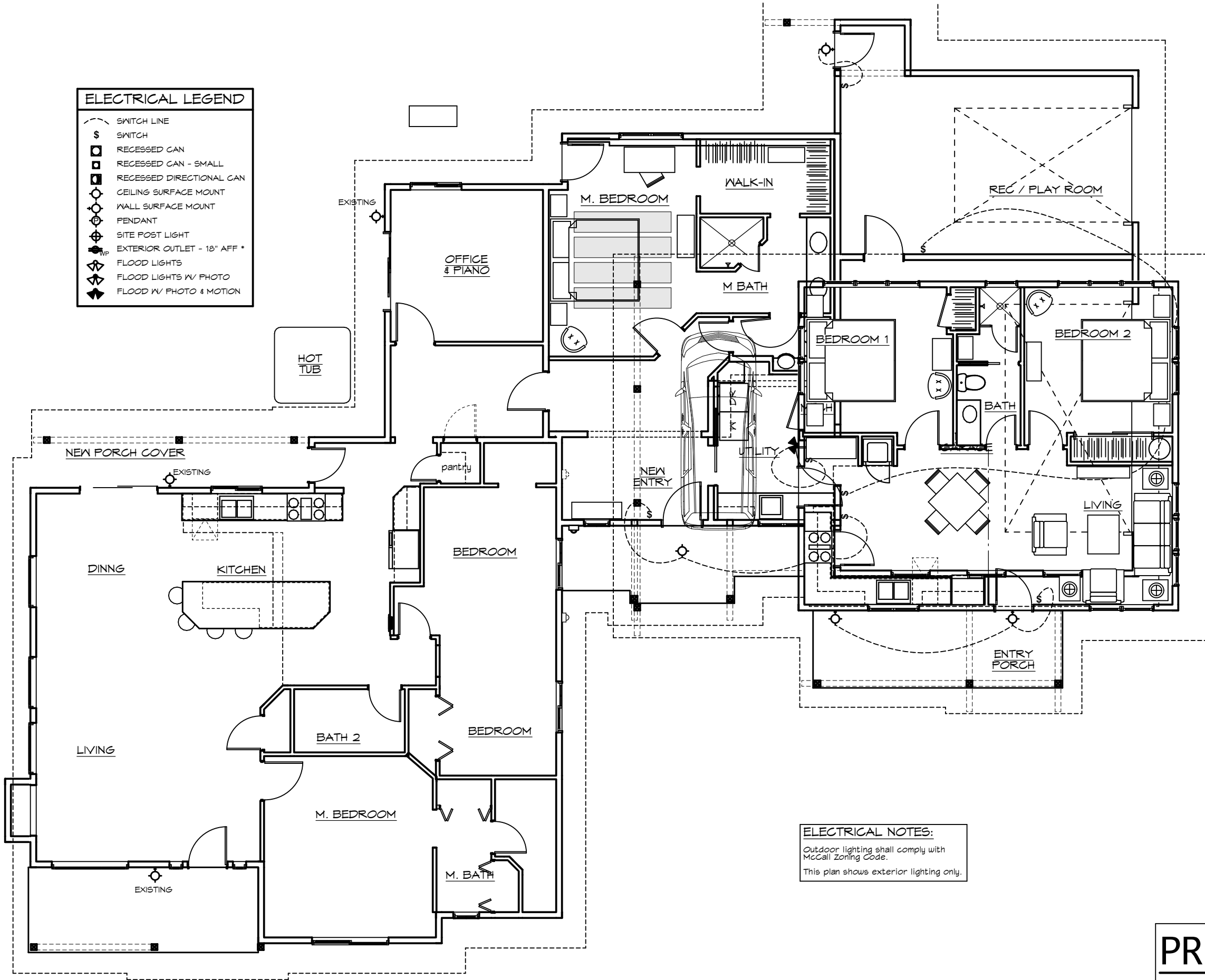
PRELIMINARY
 not for construction

COTTAGE
 ELEVATIONS

1/8" = 1'-0"

p 11

ELECTRICAL LEGEND	
	SWITCH LINE
	SWITCH
	RECESSED CAN
	RECESSED CAN - SMALL
	RECESSED DIRECTIONAL CAN
	CEILING SURFACE MOUNT
	WALL SURFACE MOUNT
	PENDANT
	SITE POST LIGHT
	EXTERIOR OUTLET - 18" AFF *
	FLOOD LIGHTS
	FLOOD LIGHTS W/ PHOTO
	FLOOD W/ PHOTO & MOTION

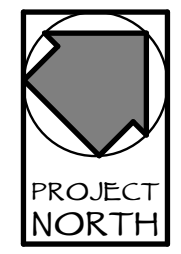


REMSBERG ARCHITECTURE

Claire R. Remsberg, Architect
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 www.RemsbergArchitecture.com

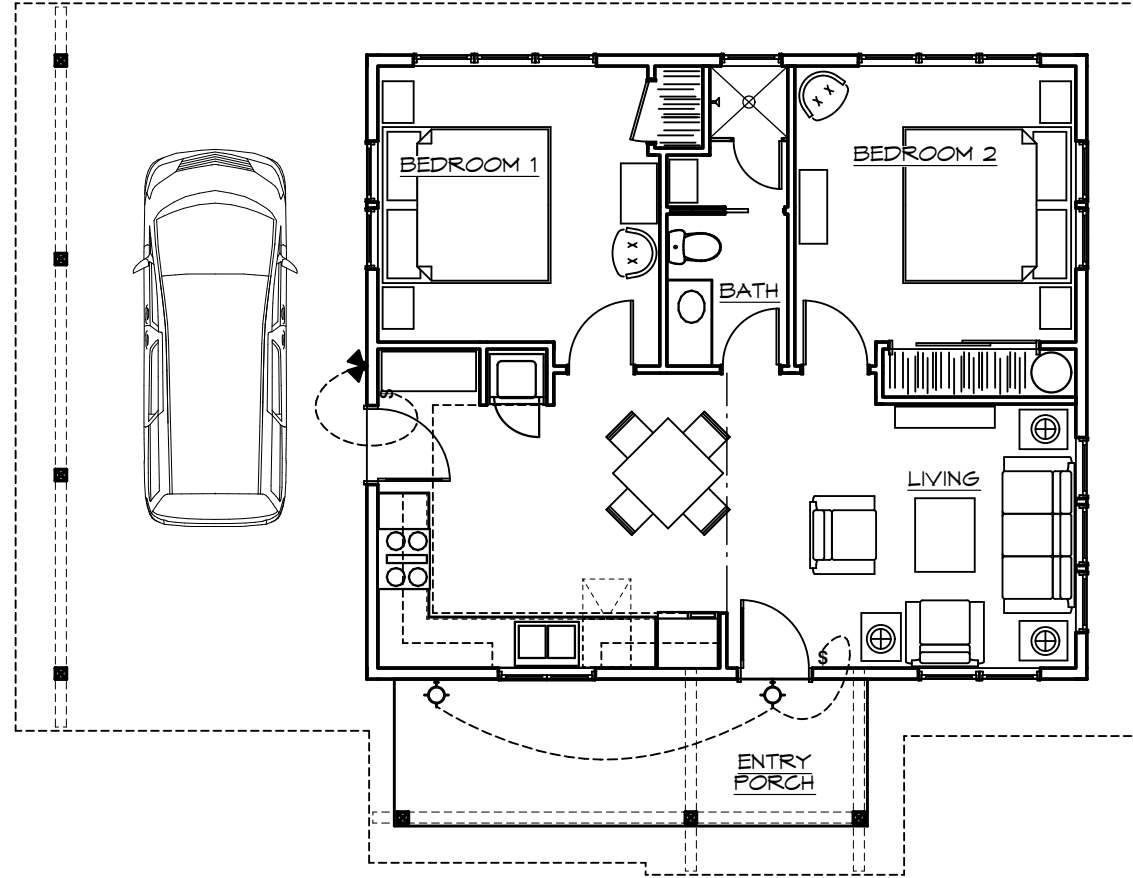
TREONE COOLEY
 Remodel / Addition, 985 Valley Rim Rd

ELECTRICAL NOTES:
 Outdoor lighting shall comply with
 McCall Zoning Code.
 This plan shows exterior lighting only.



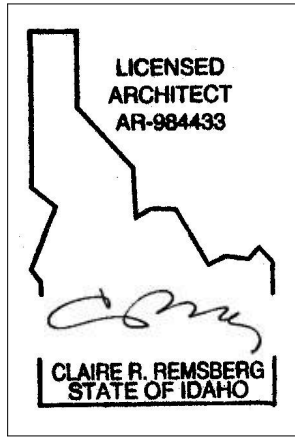
PRELIMINARY
 not for construction

1/8" = 1'-0"
p 12



ELECTRICAL LEGEND	
	SWITCH LINE
	SWITCH
	RECESSED CAN
	RECESSED CAN - SMALL
	RECESSED DIRECTIONAL CAN
	CEILING SURFACE MOUNT
	WALL SURFACE MOUNT
	PENDANT
	SITE POST LIGHT
	EXTERIOR OUTLET - 18" AFF *
	FLOOD LIGHTS
	FLOOD LIGHTS W/ PHOTO
	FLOOD W/ PHOTO & MOTION

ELECTRICAL NOTES:
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 This plan shows exterior lighting only.



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 Remodel / Addition, 985 Valley Rim Rd

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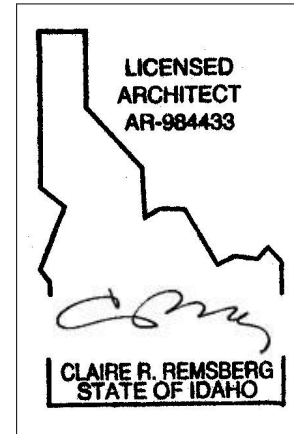
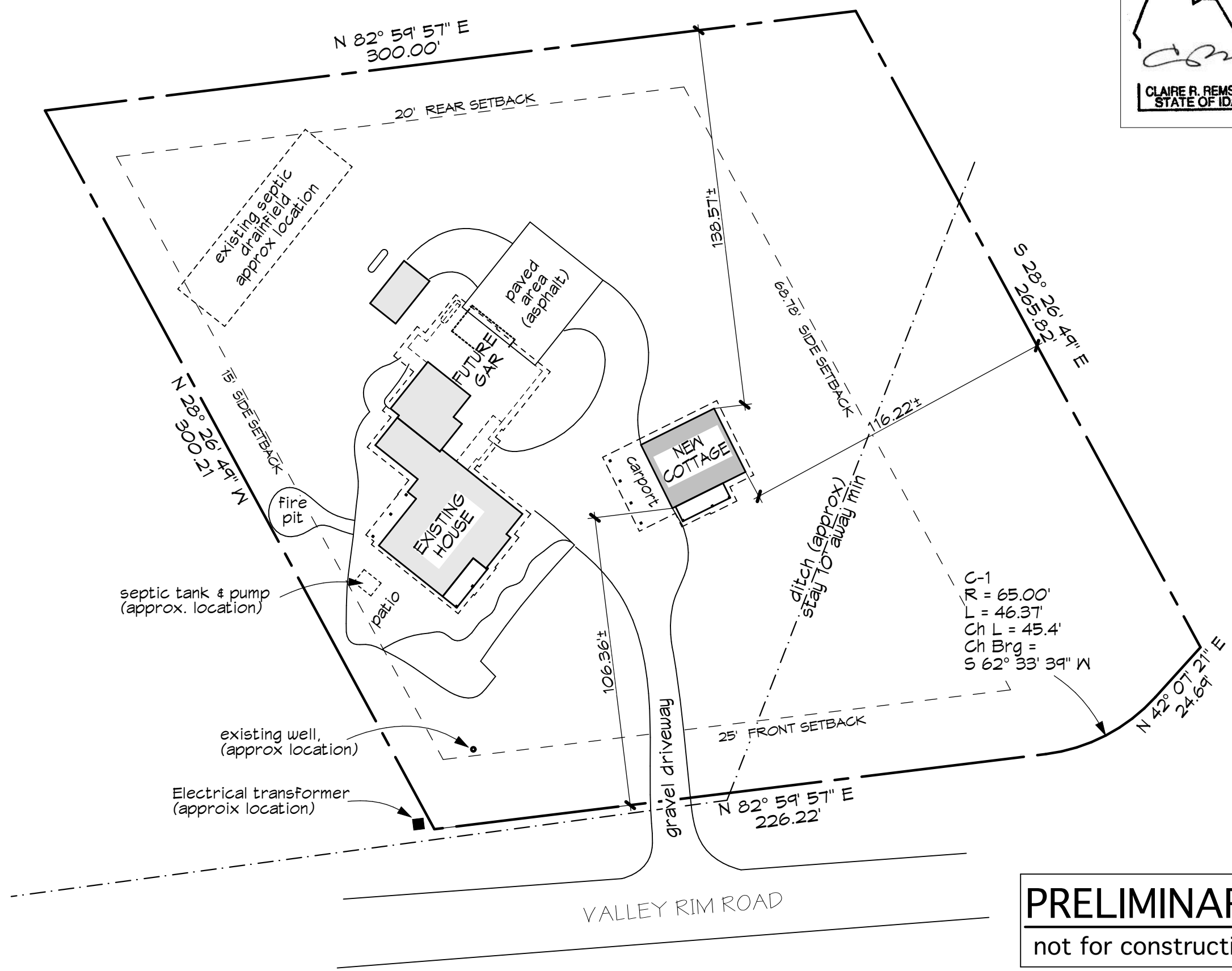
OUTDOOR LIGHTING

1/8" = 1'-0"

p 13

LOT COVERAGE:		
Lot Area in square feet:	82,981 (as per assessor)	
Lot Coverage % Allowed:	15 %	
Lot Coverage Allowed:	12,447 SF allowed	
Existing Lot Coverage		
Footprint of existing house & garage	2233 x 100%	2233
Footprint of existing shed	240 x 100%	240
Area of existing covered Decks, Patios, Walkways, Plazas, etc.	119 x 100%	119
Area of existing uncovered Decks, Patios, Walkways, Plazas, etc.	2633 x 50%	1317
Existing Driveways, surface parking, etc.	2788 x 35%	976
TOTAL EXISTING		4,884 SF
Proposed Lot Coverage		
Footprint of future house addition	1163 x 100%	1163
Footprint of proposed cottage	780 x 100%	780
Area of proposed covered Decks, Patios, Walkways, Plazas, etc. at future Addition	228 x 100%	228
Area of proposed covered Decks, Patios, Walkways, Plazas, etc. at Cottage	117 x 100%	117
Area of proposed uncovered Decks, Patios, Walkways, Plazas, etc. (Addition)	190 x 50%	95
Area of proposed uncovered Decks, Patios, Walkways, Plazas, etc. (Cottage)	25 x 50%	13
Proposed Driveways, surface parking, etc.	3477 x 35%	1217
TOTAL PROPOSED		3,612 SF
TOTAL LOT COVERAGE		8,497 SF

BUILDING SIZE	
EXISTING BUILDING	
Occupied space	1724
Unoccupied space (garage) *	509
Unoccupied space (shed)	240
Covered exterior space	119
TOTAL EXISTING	2592 SF
PROPOSED COTTAGE	
Occupied space	780
Unoccupied space (carport)	338
Covered exterior space (porch)	117
TOTAL PROPOSED	1235 SF
TOTAL BUILDING SIZE	3,827 SF



REMSBERG ARCHITECTURE

TREONE COOLEY
 Cottage ADU, 985 Valley Rim Rd

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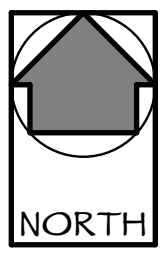
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 Design: TRE CO
 Drawn: TRE CO
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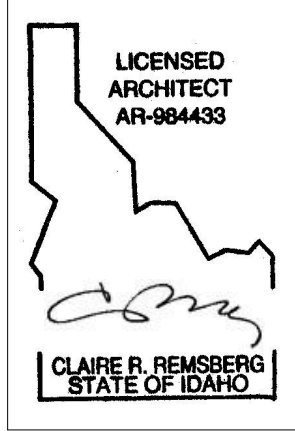
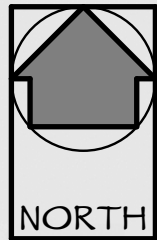
SITE PLAN

1" = 40'

p1

PRELIMINARY
 not for construction





REMSBERG ARCHITECTURE

TREONE COOLEY
Cottage ADU, 985 Valley Rim Rd

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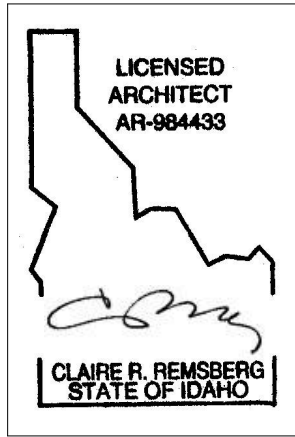
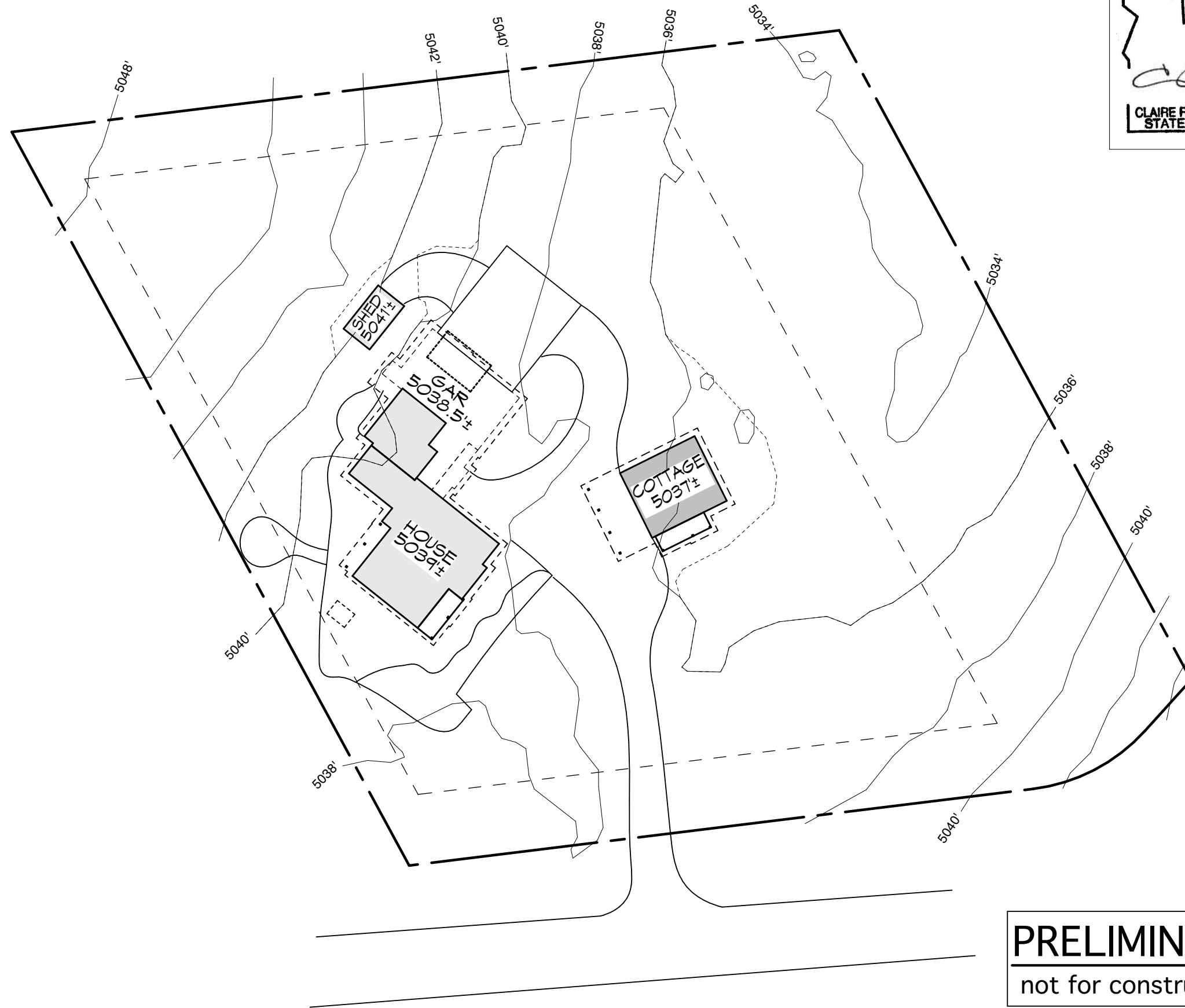
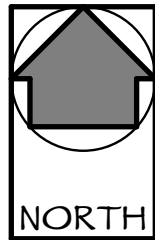
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Reviewed by CLARE REMSBERG
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VICINITY
MAP

1" = 500'

p2



REMSBERG ARCHITECTURE

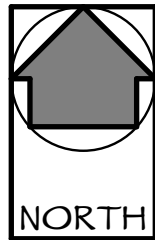
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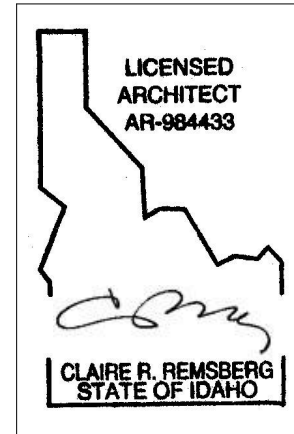
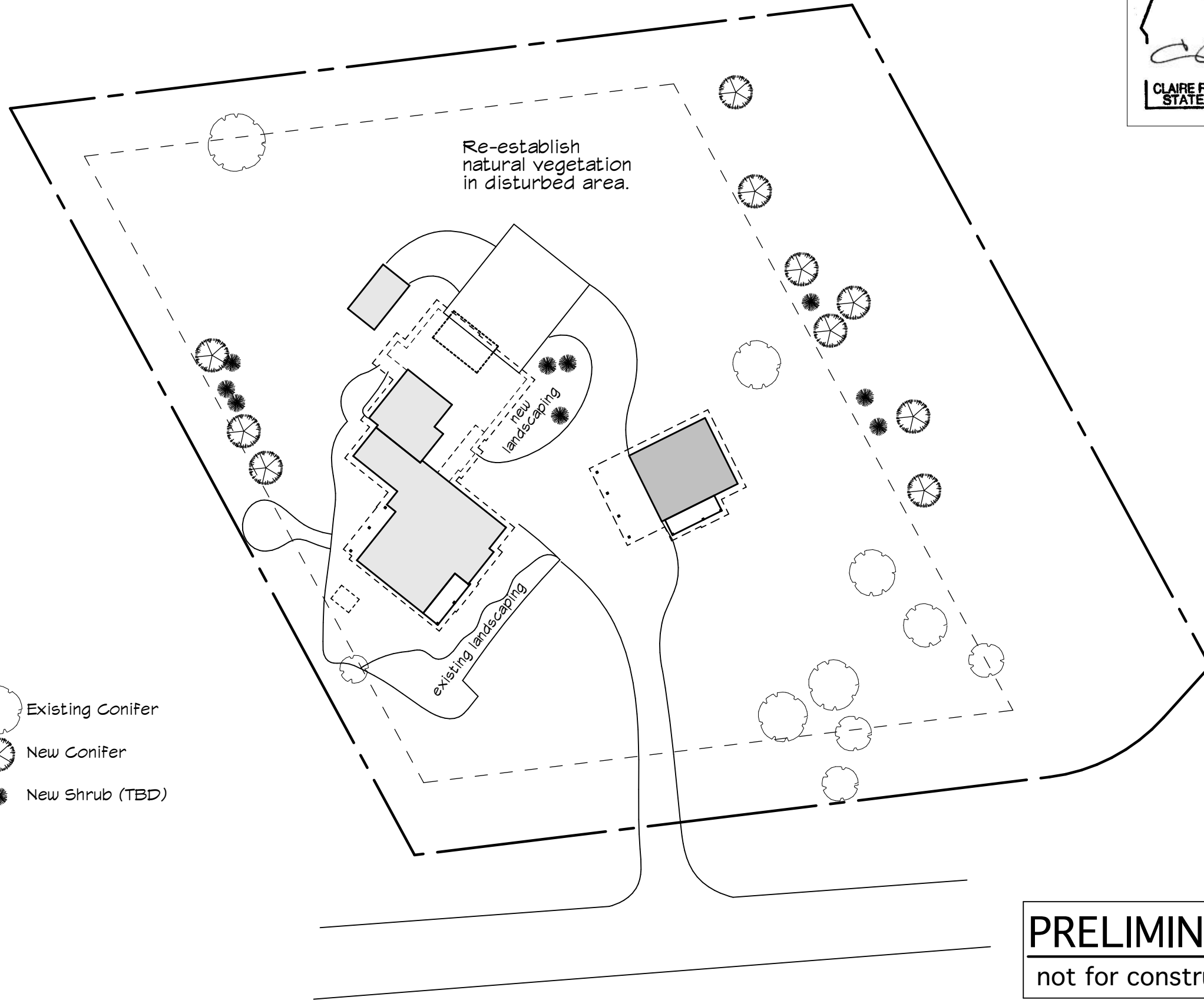
TREONE COOLEY
 Cottage ADU, 985 Valley Rim Rd

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 not for construction

GRADING
 PLAN
 1" = 40'
 p3



-  Existing Conifer
-  New Conifer
-  New Shrub (TBD)



REMSBERG ARCHITECTURE

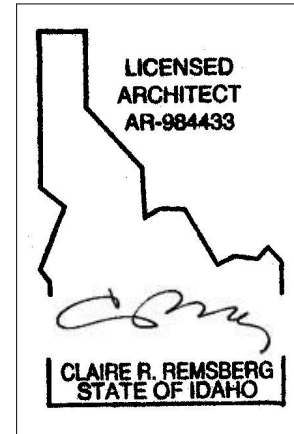
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Cottage ADU, 985 Valley Rim Rd

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LANDSCAPE PLAN
1" = 40'
p4



REMSBERG ARCHITECTURE

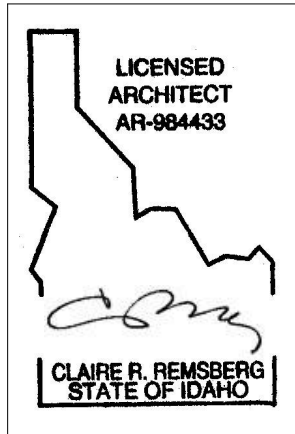
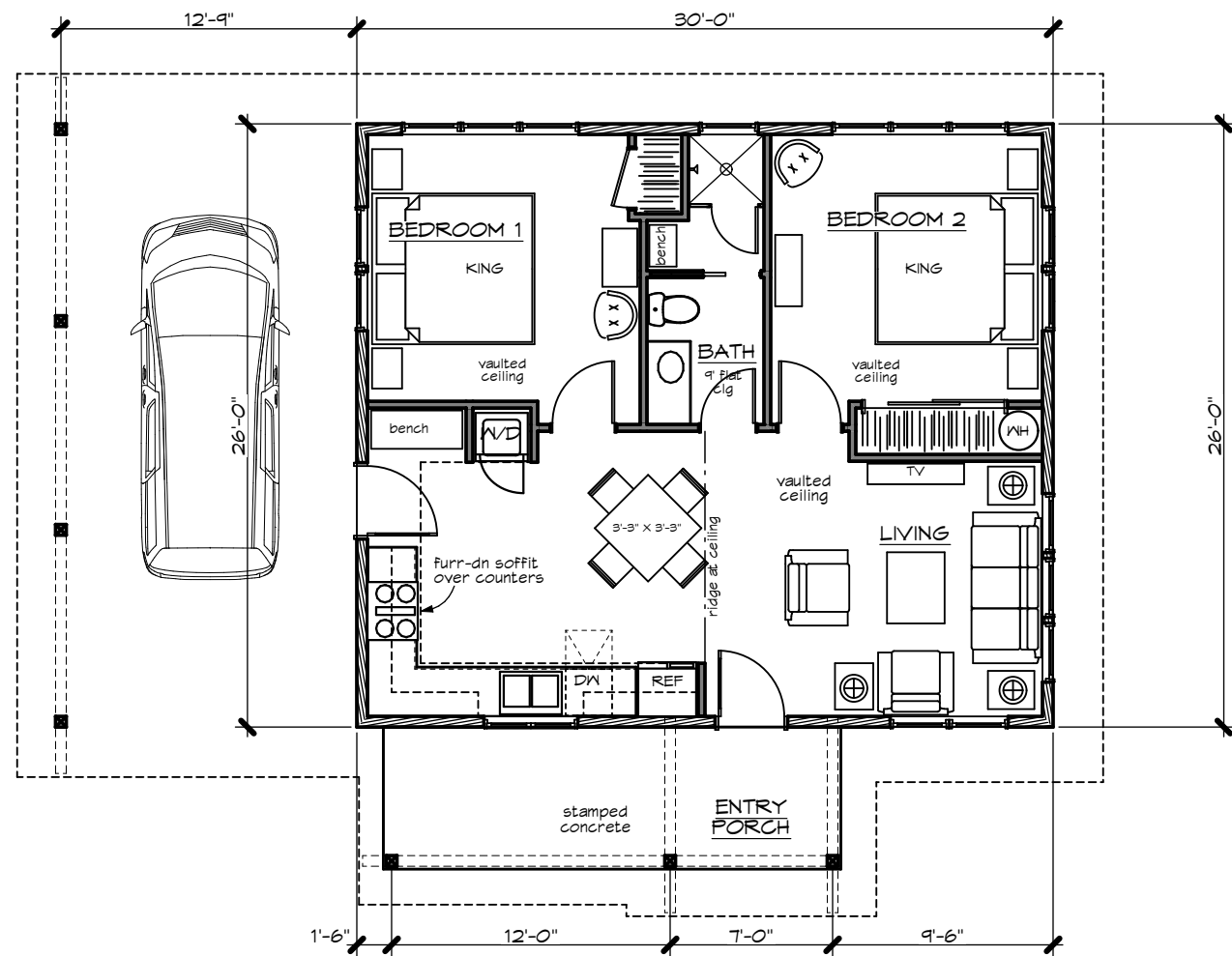
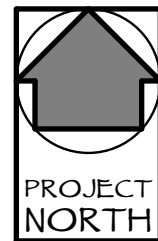
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Reviewed by: CR
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TREONE COOLEY
Cottage ADU, 985 Valley Rim Rd

GOOGLE
EARTH
VIEW
1" = 40'
p5

PRELIMINARY
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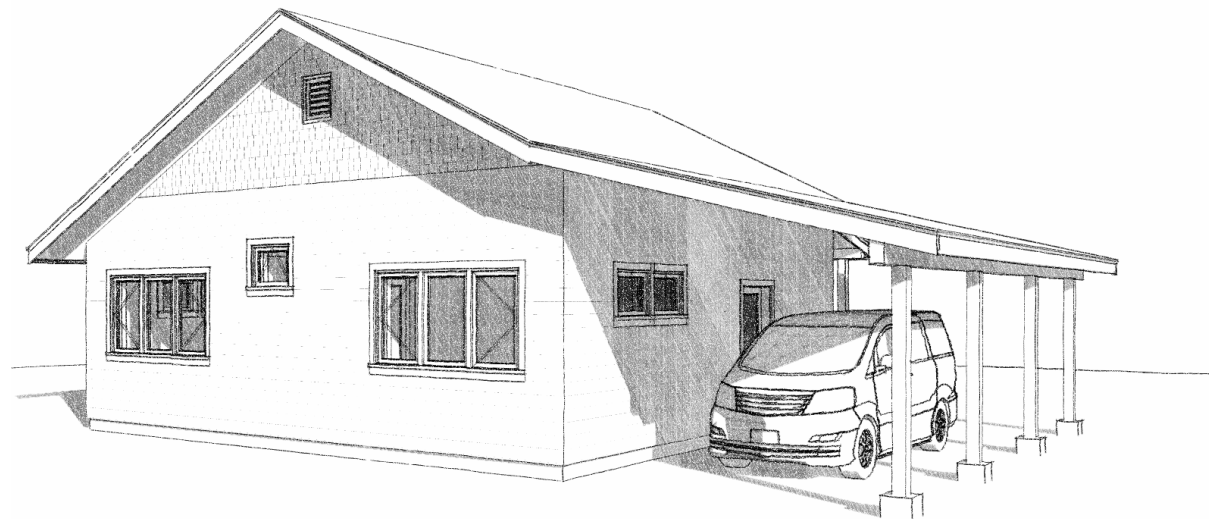


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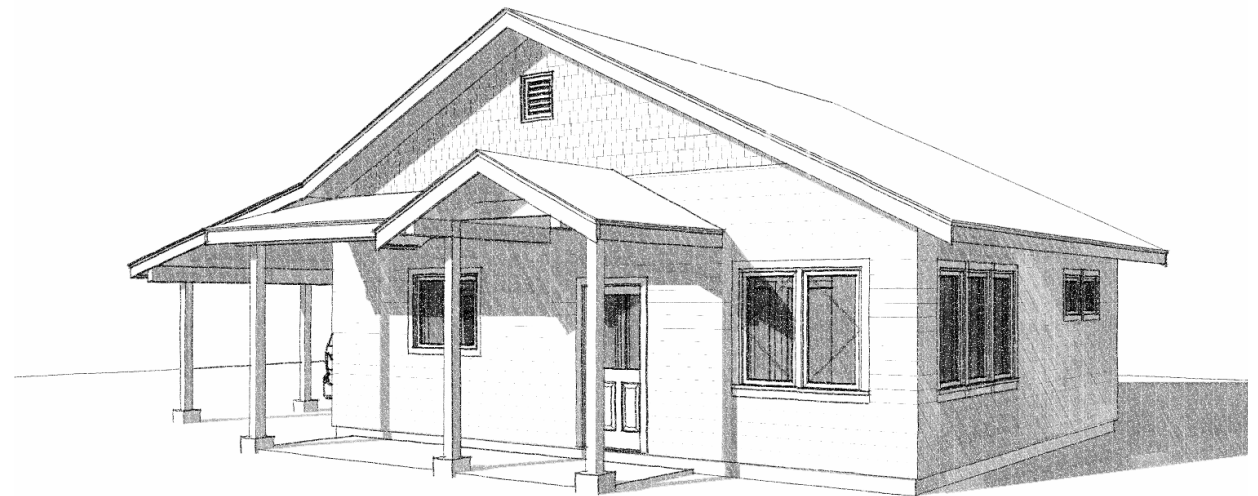
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TREONE COOLEY
 Cottage ADU, 985 Valley Rim Rd



COTTAGE NORTHWEST

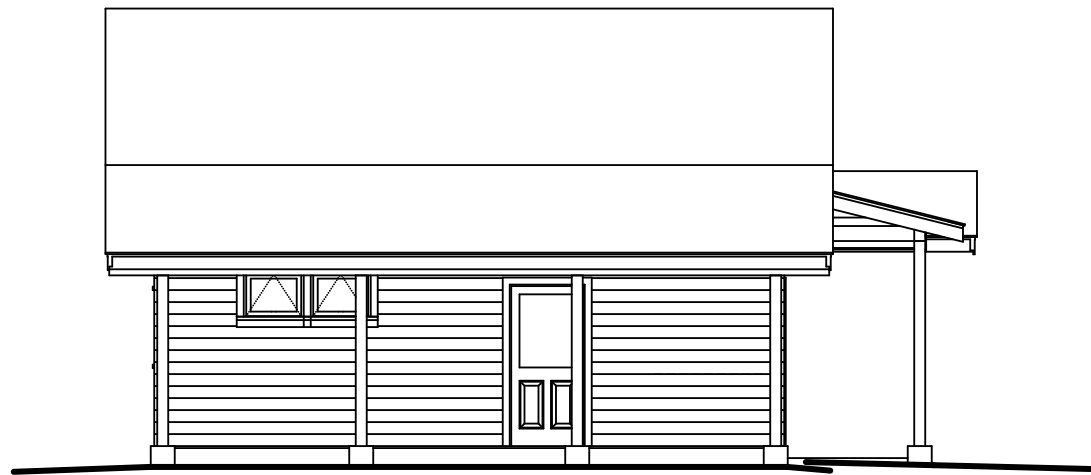


COTTAGE SOUTHEAST

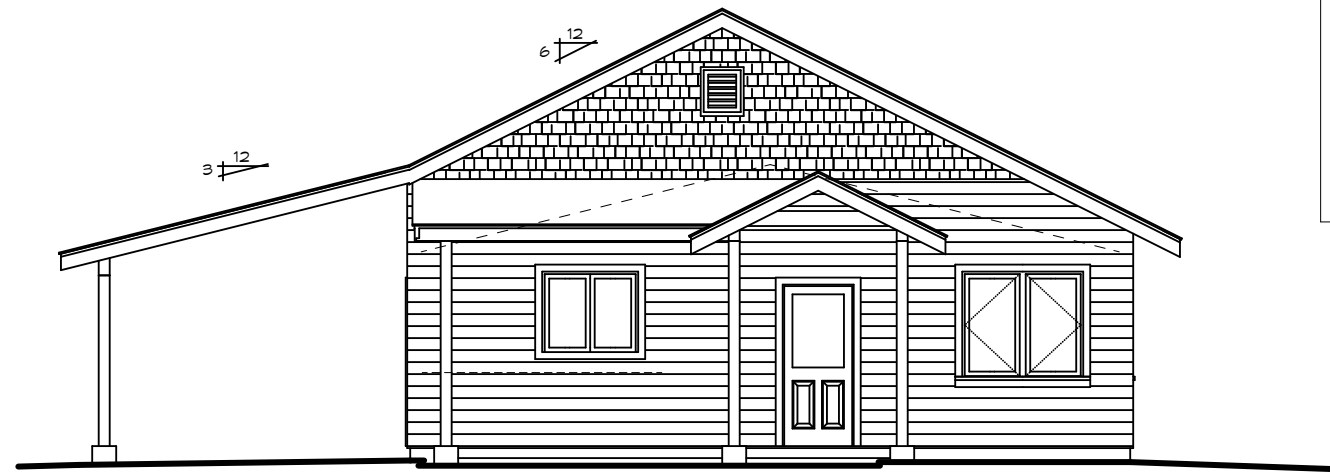
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**PLAN &
 3D VIEWS**

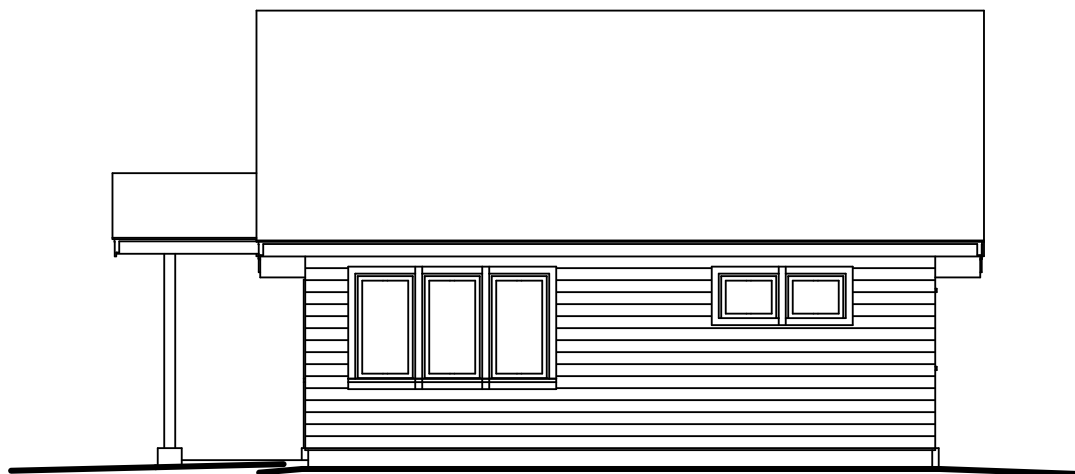
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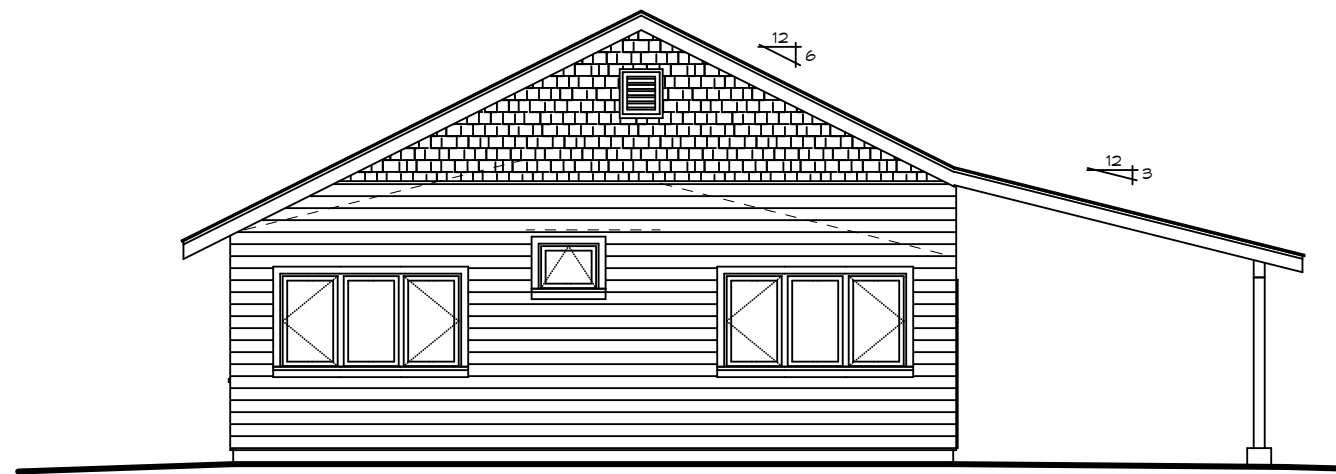
COTTAGE WEST



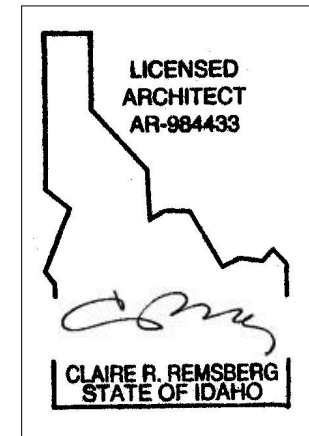
COTTAGE SOUTH



COTTAGE EAST



COTTAGE NORTH



REMSBERG ARCHITECTURE

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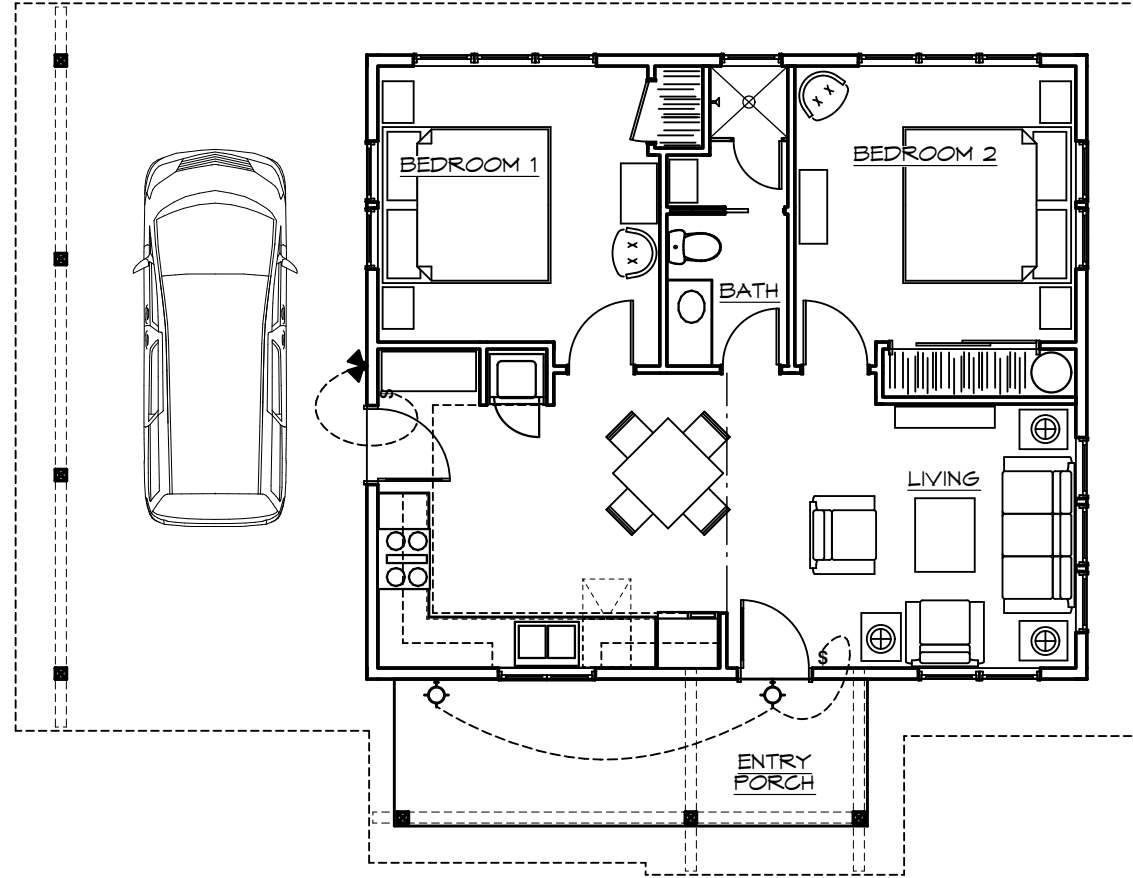
TREONE COOLEY
Cottage ADU, 985 Valley Rim Rd

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ELEVATIONS

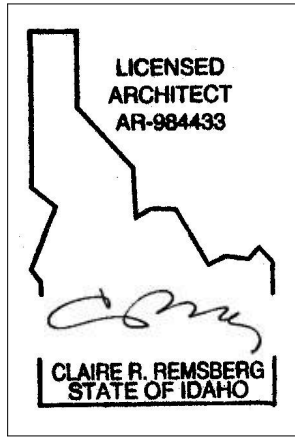
1/8" = 1'-0"

PT



ELECTRICAL LEGEND	
	SWITCH LINE
	SWITCH
	RECESSED CAN
	RECESSED CAN - SMALL
	RECESSED DIRECTIONAL CAN
	CEILING SURFACE MOUNT
	WALL SURFACE MOUNT
	PENDANT
	SITE POST LIGHT
	EXTERIOR OUTLET - 18" AFF *
	FLOOD LIGHTS
	FLOOD LIGHTS W/ PHOTO
	FLOOD W/ PHOTO & MOTION

ELECTRICAL NOTES:
 Outdoor lighting shall comply with
 McCall Zoning Code.
 This plan shows exterior lighting only.



REMSBERG ARCHITECTURE

TREONE COOLEY
 Cottage ADU, 985 Valley Rim Rd

Claire R. Remsberg, Architect
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 www.RemsbergArchitecture.com

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OUTDOOR LIGHTING

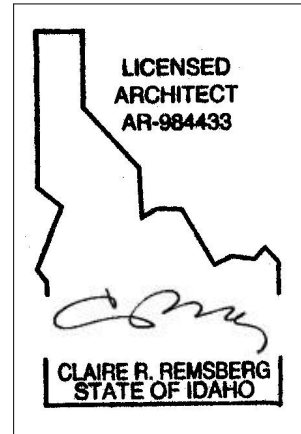
1/8" = 1'-0"

p8



These are photos of the existing residence on the property, to show existing colors & materials.

PRELIMINARY
not for construction



REMSBERG ARCHITECTURE

Claire R. Remsburg, Architect
PO Box 2523 McCall, Idaho 208-315-2010
www.RemsburgArchitecture.com

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Reviewed by: CR
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TREONE COOLEY
Remodel / Addition, 985 Valley Rim Rd

EXTERIOR
PHOTOS

pg

From: [Morgan Stroud](#)
To: [Claire Remsberg](#)
Cc: [Brian Parker](#); [Meredith Todd](#); [John Powell](#); [Building Plans](#)
Subject: DR22-16 - 985 Valley Rim Rd ADU - Final Engineering Approval
Date: Friday, July 22, 2022 1:51:00 PM
Attachments: [image001.png](#)

The Public Works Department has reviewed the updated materials for **DR22-16** and the updates have addressed the concerns and comments raised during the review process. We have the following condition of approval and comments:

- The signed stormwater application identifies **Charlie Gowing (208-440-2260)** as the responsible party for the inspection and monitoring responsibilities of the best management practices (BMP's) once the project is implemented.

Note: The second application for this project AA22-20 has not been approved currently. AA22-20 is for the construction of the garage addition.

This email will act as the City's Final Engineering Approval.

Thank you,



Morgan Stroud, E.I.T.
Staff Engineer
(D) 208.634.3458
(C) 208.315.2299
www.mccall.id.us/engineering

RECEIVED

By Brian Parker at 9:20 am, Jun 09, 2022



Valley County Transmittal
Division of Community and Environmental Health

Return to:

- Cascade
- Donnelly
- McCall
- McCall Impact
- Valley County

Rezone # DR 22-16

Conditional Use # _____

Preliminary / Final / Short Plat _____

Lot 48849 Valley View Sub
985 Valley Run Rd

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water
 - waste flow characteristics
 - bedrock from original grade
 - other _____
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 - central sewage
 - community sewage system
 - community water well
 - interim sewage
 - central water
 - individual sewage
 - individual water
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage
 - community sewage system
 - community water
 - sewage dry lines
 - central water
- 10. Run-off is not to create a mosquito breeding problem
- 11. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 12. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 13. We will require plans be submitted for a plan review for any:
 - food establishment
 - swimming pools or spas
 - child care center
 - beverage establishment
 - grocery store

14. A Septic permit was issued for this property on
6/11/22

Reviewed By: [Signature]
Date: 6/18/22

From: [Dave Robbins](#)
To: [Brian Parker](#)
Subject: DR-22-16: 985 Valley Rim Rd - Claire Remsberg for Treone Cooley (Opposed)
Date: Tuesday, July 12, 2022 8:13:19 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I did not receive notification of this CUP. I live across the street from the property.
Has the Valley View 2 & 3 Architectural Committee reviewed and approved the plans?
Have the two lots been combined into one lot in the plat?
If the additional building is unattached, how does it meet the minimum square footage requirements in the CCR's?
Will the new dwelling operate on separate well and septic system? If not is the existing septic system designed and approved for the new occupancy capacity?
What right does the City have to override property owners CC&R's?
I oppose this until the above, and subsequent issues resulting from my inquiry, are satisfied.

David Robbins
986 Valley Rim Rd. #1536
McCall, Idaho 83638
(208)630-4553

[Sent from Yahoo Mail for iPad](#)